



Memorandum Department of Planning & Public Works

To: Planning and Public Works Committee
From: Shawn Seymour, Senior Planner
Date: 01/19/2012
RE: Arbors at Wild Horse Creek SDP: A Site Development Plan, Landscape Plan, and Architectural Elevations for a 23 acre tract of land zoned "PUD" Planned Unit Development located on the south side of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Wild Horse Parkway Drive (18V330046).

Summary

McBride & Sons have submitted a Site Development Plan (SDP) for review. As part of the PUD zoning for this site, automatic power of review of the SDP is required for approval. On January 9, 2012 the SDP was reviewed by the Planning Commission and by a count of 9 – 0, the commission voted to approve the SDP as submitted with the requirement that staff review the architectural elevations for all submitted Municipal Zoning Approvals.

The submitted SDP by McBride & Sons, proposes the development of twenty-two single-family lots of varying sizes not to be smaller than 24,000 sf. These lots will be serviced by a single cul-de-sac neighborhood street which will have one (1) point of access to Wild Horse Creek Road. This design proposes that over forty-percent (40%) of the existing tree canopy will be preserved. A portion of the existing tree canopy will be utilized for perimeter buffering, mainly along the eastern boundary of the site. The Landscape Plan proposes the planting of 200 plus trees, of which 90 plus will be used for providing a buffer along the western boundary of the site. An additional 90 plus trees will be planted as street trees.

The proposed single-family structures will be construction of brick, stone, hardie plank siding and architectural shingles. The Architectural Review Board (ARB) reviewed the application during its December 2011 meeting and unanimously approved the proposal with the following recommendations.

1. Building materials on all facades of the proposed structures should utilize varying materials, detailing, finishes and colors. Facades dominated by one material, color or without any identifiable features should be avoided. The ARB would like staff to review this during applications for Municipal Zoning Approval
 - The applicants have agreed to remove the elevation that prompted this comment from the ARB. Further, staff will review during MZA submittal. **Note, this was also made a part of the PC motion to approve the application.**

2. The northern (side) façade of the structure to be built on Lot 1 should continue the architectural features, materials and colors of the front façade. The northern façade will front Wild Horse Creek Road and may be viewable from this right-of-way. The extension of the materials, features and colors of the front façade along the northern façade will enhance the overall quality of the development from this vantage point.
 - The applicant has agreed to utilize building materials, features and colors on this façade that will match those found on the front façade of the structure. Staff will review during MZA submittal.
3. The number of evergreen trees should be increased in the buffer along the western boundary of the development. This increase in evergreen trees will ensure visual buffering during the winter months.
 - The proposed landscape plan includes thirty (30) six-foot (6 ft.) tall evergreen trees along this buffer. This meets the requirements of the Landscape and Tree Preservation Manual and Staff believes that this will provide adequate buffering during the winter months.

As mentioned above, the Planning Commission reviewed this request and passed a motion to approve the application as submitted by a count of 9 – 0. As required by all applications when Power of Review is exercised, the Planning and Public Works Committee must now make a recommendation on this application and forward said recommendation to the City Council. City Council will then make a formal determination of the application under the advisement of both the Planning and Public Works Committee and the Planning Commission.

See attached for a copy of the SDP packet from the January 9th, 2012 Planning Commission meeting.

Respectfully submitted,



Shawn Seymour, AICP
Senior Planner

CC: Michael G. Herring, City Administrator
Rob Heggie, City Attorney
Michael O. Geisel, Director of Planning & Public Works
Aimee Nassif, Director of Planning & Development Services



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Planning Commission Staff Report

Project Type: Site Development Plan

Meeting Date: January 9, 2012

From: Shawn Seymour, Senior Planner

Location: South side of Wild Horse Creek Road west of its intersection with Long Road and east of its intersection with Wild Horse Parkway Drive.

Description: **Arbors at Wild Horse Creek SDP:** A Site Development Plan, Landscape Plan, and Architectural Elevations for a 23 acre tract of land zoned “PUD” Planned Unit Development located on the south side of Wild Horse Creek Road west of its intersection of Long Road and east of its intersection with Wild Horse Parkway Drive (18V330046).

PROPOSAL SUMMARY

McBride & Sons have submitted a Site Development Plan, Landscape Plan and Architectural Elevations for a 23 acre single family detached residential development to be known as the Arbors at Wild Horse Creek. The request would permit the development of 22 single family detached residential homes of varying configurations and designs. General structure materials will be brick, stone, hardie plank siding, and architectural shingles.

LAND USE AND ZONING HISTORY OF THE SUBJECT SITE

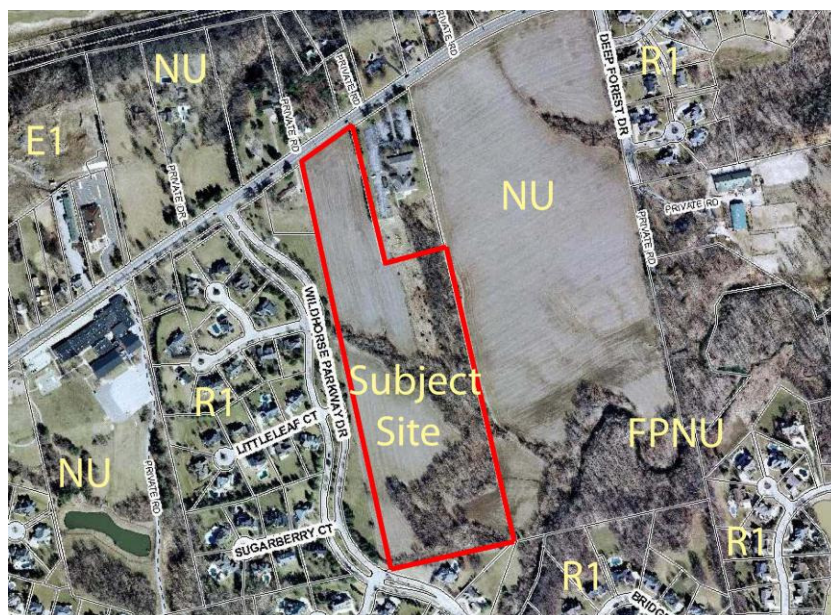
St. Louis County zoned the subject site “NU” Non-Urban District in 1965. The property has been utilized for agricultural purposes throughout the duration of initial zoning to current.

In 2001 and 2002, the City of Chesterfield received several petitions for zoning map amendments for this site. All petitions were submitted with the goal of developing the site for residential purposes. P.Z. 08/09-2001 was a request for a zoning map amendment to the “E3” Estate Residence District (one-half acre) and a “PEU” Planned Environmental Unit. These petitions were subsequently deemed inactive post public hearing. P.Z. 33-2001 was a further attempt to obtain the “E3” zoning designation. This petition was deemed inactive prior to the scheduling of a public hearing. In 2002, petitions P.Z. 10-2002 and P.Z. 28-2002 were submitted in final attempts to obtain “E3” zoning entitlements, but were withdrawn and deemed inactive respectively. In all four petitions, the petitioner was unable to meet complete submittal requirements or was unable to meet Staff’s review of minimum design standards.

Most recently in August of 2011 the City received a petition for a zoning map amendment from the “NU” district to a Planned Unit Development “PUD” District. The requested “PUD” would permit a total of 22 single family units on the 23 acre tract while maintaining far above the minimum existing grading and tree canopy by modifying minimum lots sizes and setbacks. This petition was subsequently approved in October of 2011.

Land Use and Zoning of Surrounding Properties

Direction	Land Use	Zoning
North	Residential	“NU” Non-Urban District
South	Residential	“R1” Residence District /w “PEU” Planned Environmental Unit
East	Undeveloped	“NU” Non-Urban District
West	Residential	“R1” Residence District /w “PEU” Planned Environmental Unit



STAFF ANALYSIS

Zoning

The subject site is currently zoned “PUD” Planning Unit Development District under the terms and conditions of City of Chesterfield Ordinance Number 2678. The submittal was reviewed against the requirements of Ordinance 2678 and all applicable Zoning Ordinance Requirements. The site adheres to the applicable Zoning Ordinance requirements and the site specific governing ordinance.

The PUD ordinance permits flexibility to standard residential zoning district requirements. Lot sizes, setback, building heights, etc. are permitted to be modified in order to create a better built environment and enhance the overall look and functionality of the development. The Arbors at Wild Horse Creek was permitted to utilize one-half (½) acre lots at a minimum and to customize setbacks in order to increase buffering and to preserve existing grading and tree canopy. This allowed the applicant to develop the site to maximum potential, while reducing the need to further modify the natural environment, including grading, tree canopy and water courses.

Traffic Access and Circulation

Access to the site is granted by one (1) point along Wild Horse Creek Road a right-of-way maintained by MoDOT. MoDOT has approved this access point.

The internal roadway system of the proposed development consists of one (1) road which terminates at the south end of the site in a cul-de-sac style with a circular turn around. The length of this road is approximately 1,900ft. Monarch Fire Protection District has reviewed this request and has not provided its approval to this design. As of December 5, 2011, the fire protection district is requesting a modification to the proposed road design.

Note, the City of Chesterfield does not require fire protection district approval when granting approval of a site plan. The City only requires comments to be received. The fire protection district reviews all applications for building permits and may withhold building permit approval until it is satisfied with the overall site design.

Landscaping

McBride & Son’s are proposing extensive landscaping along the western boundary of the site. As a part of the “PUD” ordinance a fifty (50) foot wide landscaped buffer is required along this boundary of the site to provide for physical as well as visual separation from the adjacent Wild Horse subdivision. The proposed landscape plan includes both deciduous and evergreen plantings to ensure that an opaque buffer exists during all four (4) seasons.

The proposed development also incorporates the preservation of grading and tree canopy that far exceeds the standard as set forth in the City Landscaping and Tree Preservation Manual. The required standard is to maintain thirty-percent (30%) tree canopy; the proposed plan will preserve over forty-percent (40%). This has been labeled as “Green Space Preservation Area” on the site plan. This will provide a natural buffer on both the eastern and the southern boundaries of the development. Additional landscaping and buffering is provided on the northern boundary of the site providing separation from Wild Horse Creek Road.

Lighting

For residential developments, lighting plan review is minimal. The applicants have selected an AmerenUE approved light fixture and has placed them at City of Chesterfield Lighting Ordinance approved specifications. The proposed lighting of this development meets all City of Chesterfield requirements.

Architectural Elevations

The proposed single-family residential structures will be constructed of brick, hardie plank siding, stone and architectural shingles. All structures will incorporate side entry garages. It is the goal of the applicant to exceed the building quality of the adjacent developments.

The project was reviewed by the Architectural Review Board on December 15, 2011. During the meeting, the Board generated comments/recommendations for the petitioner to consider and address accordingly. A motion was passed to forward the project to Planning Commission with a recommendation for approval by a vote of 5-0. The following recommendations were made by the Architectural Review Board:

1. Building materials on all facades of the proposed structures should utilize varying materials, detailing, finishes and colors. Facades dominated by one material, color or without any identifiable features should be avoided. The ARB would like staff to review this during applications for Municipal Zoning Approval
 - The applicants have agreed to remove the elevation that prompted this comment from the ARB. Further, staff will review during MZA submittal.
2. The northern (side) façade of the structure to be built on Lot 1 should continue the architectural features, materials and colors of the front façade. The northern façade will front Wild Horse Creek Road and may be viewable from this right-of-way. The extension of the materials, features and colors of the front façade along the northern façade will enhance the overall quality of the development from this vantage point.

- The applicant has agreed to utilize building materials, features and colors on this façade that will match those found on the front façade of the structure. Staff will review during MZA submittal.
3. The number of evergreen trees should be increased in the buffer along the western boundary of the development. This increase in evergreen trees will ensure visual buffering during the winter months.
- The proposed landscape plan includes thirty (30) six-foot (6 ft.) tall evergreen trees along this buffer. This meets the requirements of the Landscape and Tree Preservation Manual and Staff believes that this will provide adequate buffering during the winter months.

DEPARTMENT INPUT

Staff has reviewed the Site Development Plan, Landscape Plan, and Architectural Elevations and has found the application to be in conformance with the site specific ordinance and all other applicable Zoning Ordinance requirements. Staff recommends approval of the proposal as presented.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Plan, Landscape Plan, and Architectural Elevations for the Arbors at Wild Horse Creek.
- 2) "I move to approve the Site Development Plan, Landscape Plan, and Architectural Elevations for the Arbors at Wild Horse Creek with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Cc: Michael G. Herring, City Administrator
Rob Heggie, City Attorney
Michael O. Geisel, Director of Planning, Public Works, and Parks
Aimee Nassif, Planning and Development Services Director

Attachments: Site Development Plan
Landscape Plan
Architectural Elevations



10/27/11
 STATE OF MISSOURI
 BARRY WEBB
 GRANTZ & ASSOCIATES
 REGISTERED ARCHITECT

ELEVATION C - FRENCH COLONIAL

KENNINGTON - 490 PLAN

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Arbors @
 Wildhorse Creek

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ELEVATION - AMERICAN COLONIAL **KENNINGTON - 480 PLAN**

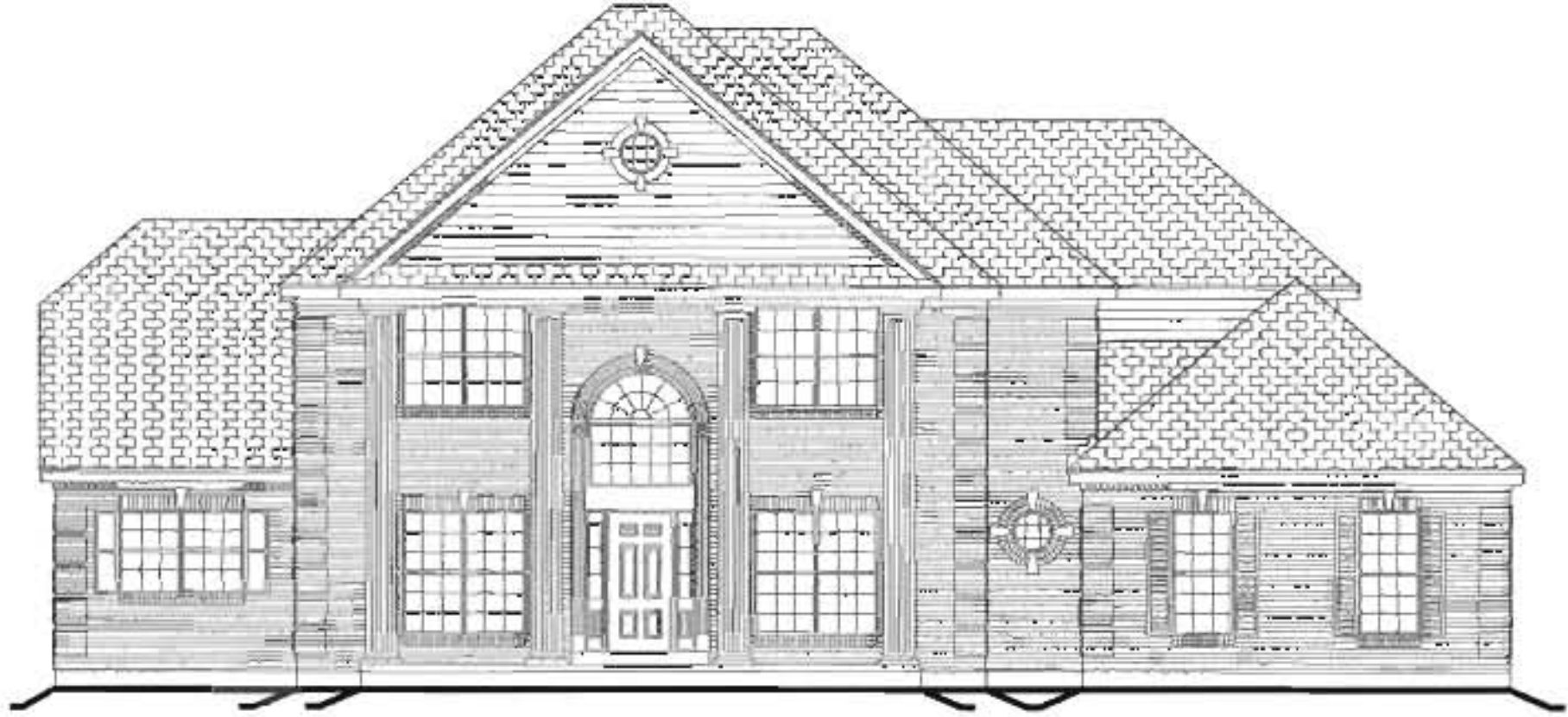
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DATE: 10/27/14
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 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 PROJECT NO: [Number]
 SHEET NO: [Number]
 TOTAL SHEETS: [Number]



ELEVATION "D" - PLANTATION

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Barry J. Glantz
Registered Architect
No. 1573
State of Missouri
10/21/11

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ELEVATION "E" - COLONIAL

KENNSINGTON - 490 PLAN

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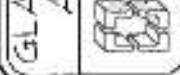
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Notes & Schedule
1. All work shall be in accordance with the specifications and schedule of materials included herein.
2. The contractor shall be responsible for obtaining all necessary permits and licenses.
3. The contractor shall maintain access to all adjacent properties at all times.
4. The contractor shall be responsible for protecting all existing utilities and structures.
5. The contractor shall be responsible for the removal and disposal of all debris.
6. The contractor shall be responsible for the cleanup of the site.
7. The contractor shall be responsible for the final inspection and approval of the work.
8. The contractor shall be responsible for the final payment of the project.
9. The contractor shall be responsible for the final delivery of the project to the owner.
10. The contractor shall be responsible for the final completion of the project.



ELEVATION "F" - ENGLISH TUDOR

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ELLINGTON - 320 PLAN

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ELLINGTON - 320 PLAN

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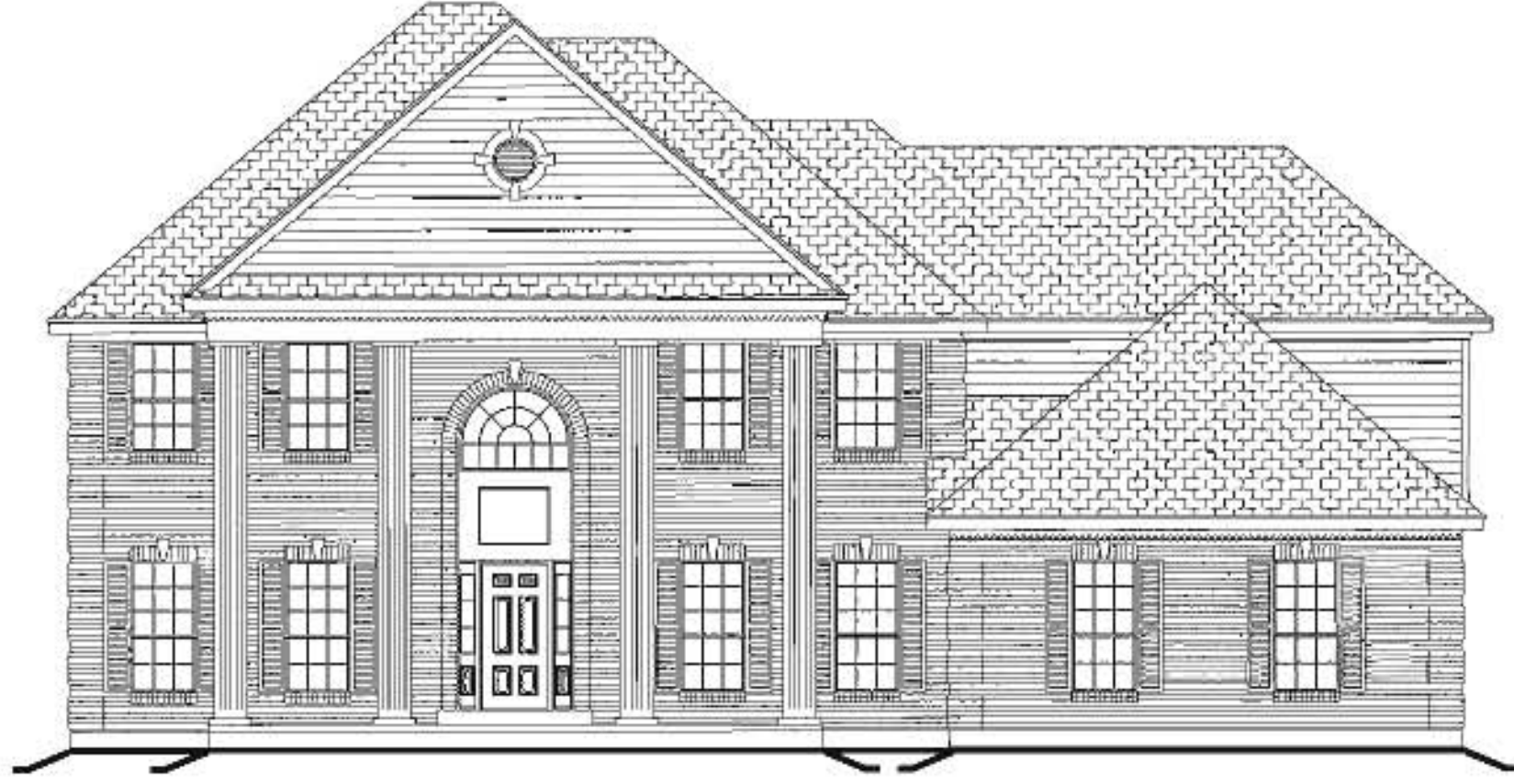


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ELEVATION "G" - RUSTIC COLONIAL

BUCKLEY - 299 PLAN

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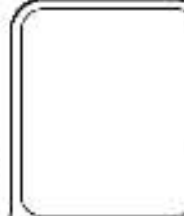
ELEVATION "A" - COLONIAL

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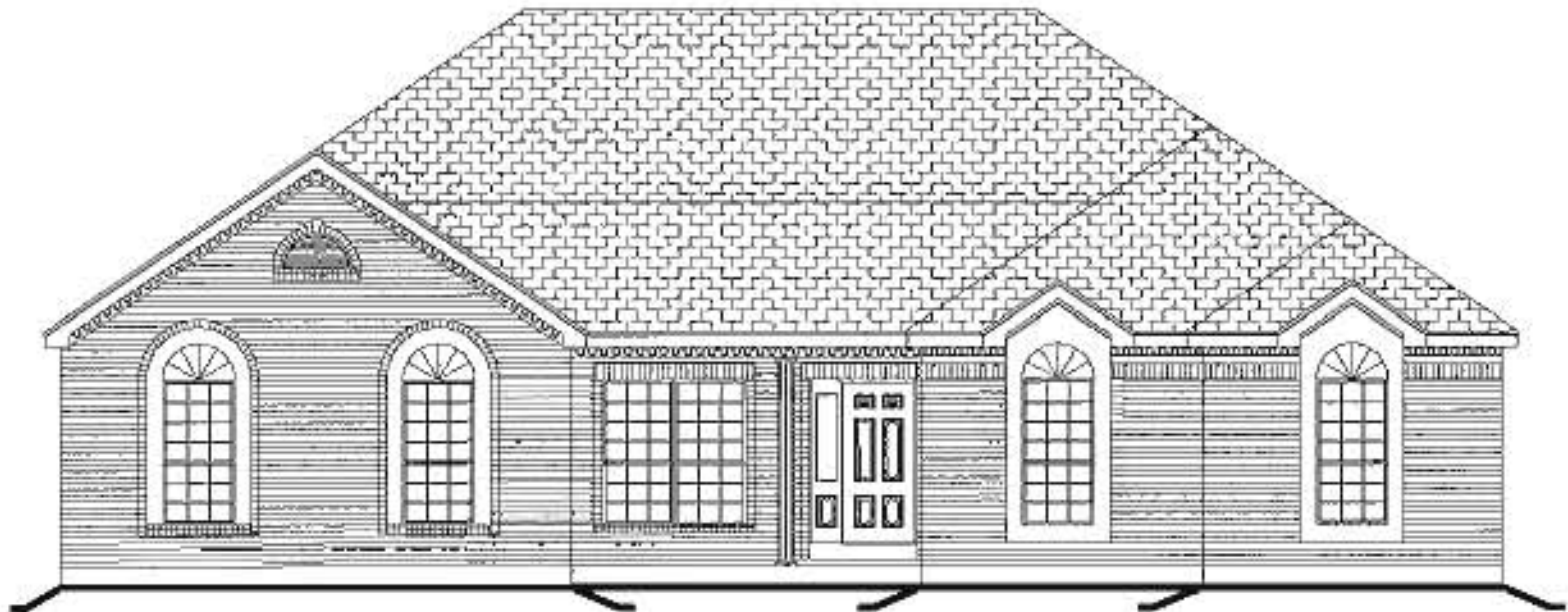
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BUCKLEY - 298 PLAN



ELEVATION "B" - PROVINCIAL

BUCKLEY - 288 PLAN

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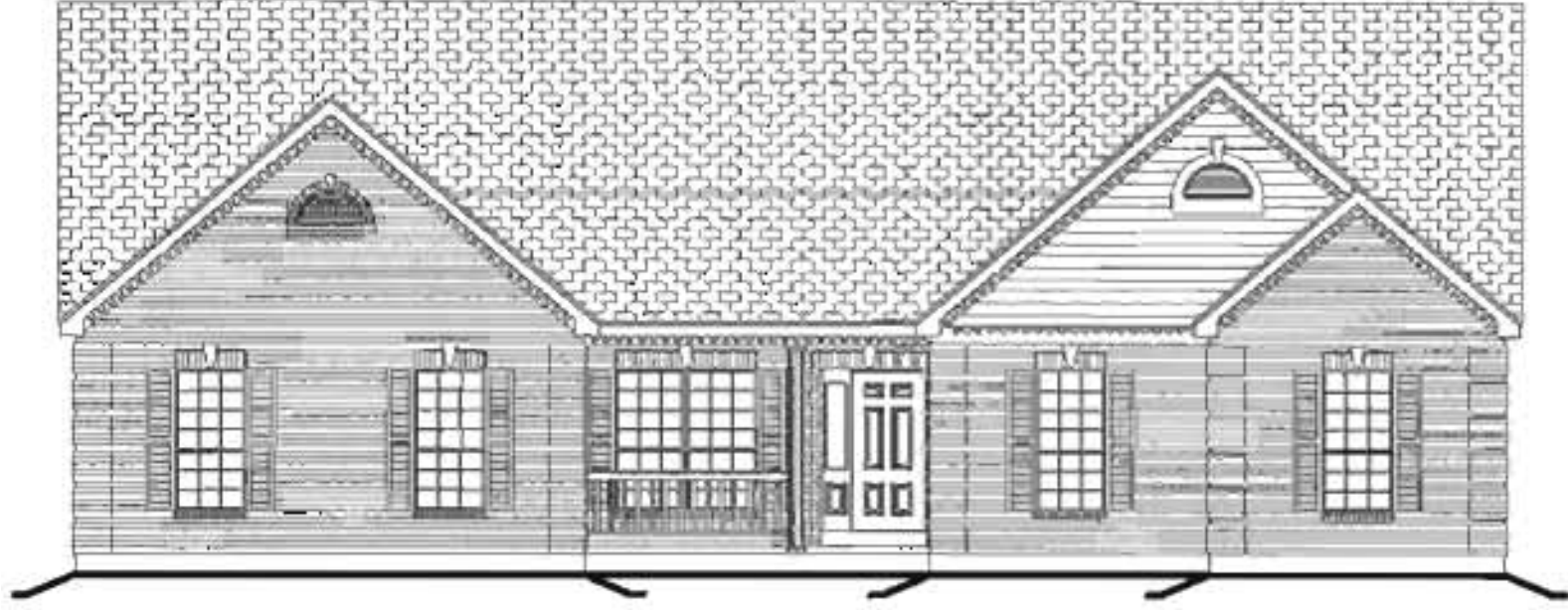


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BUCKLEY - 299 PLAN

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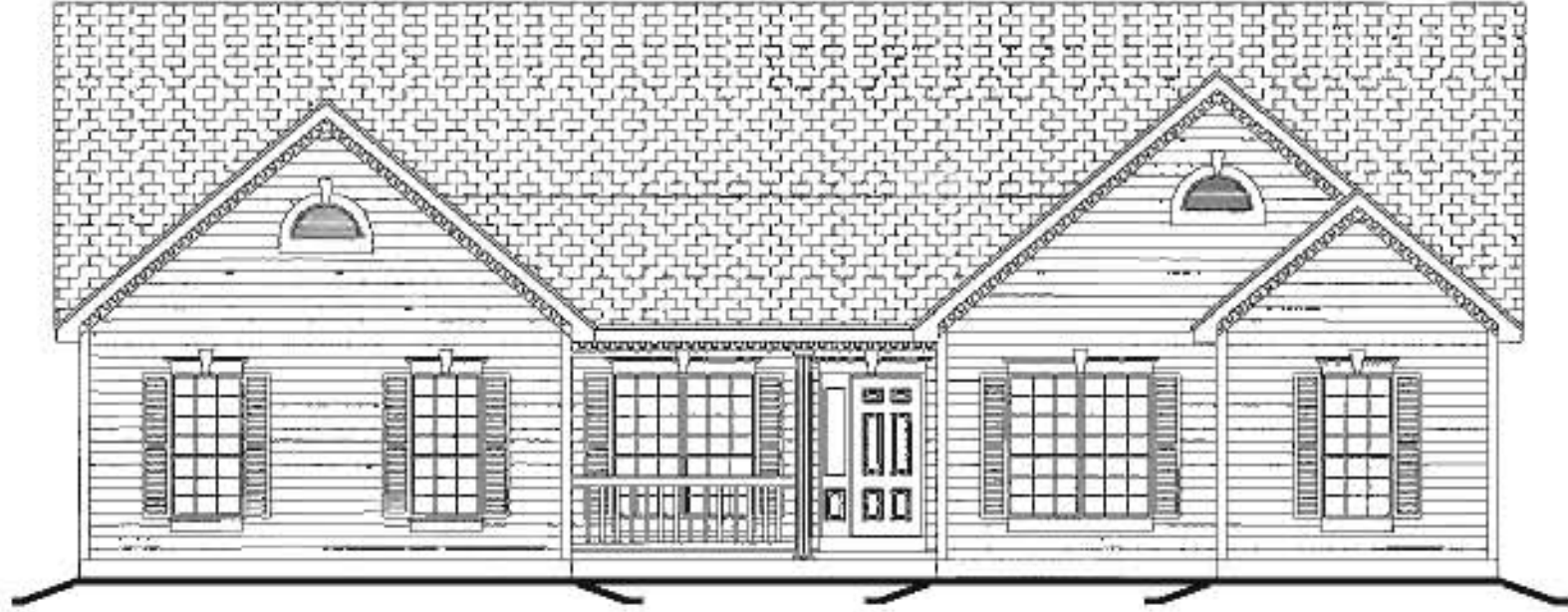
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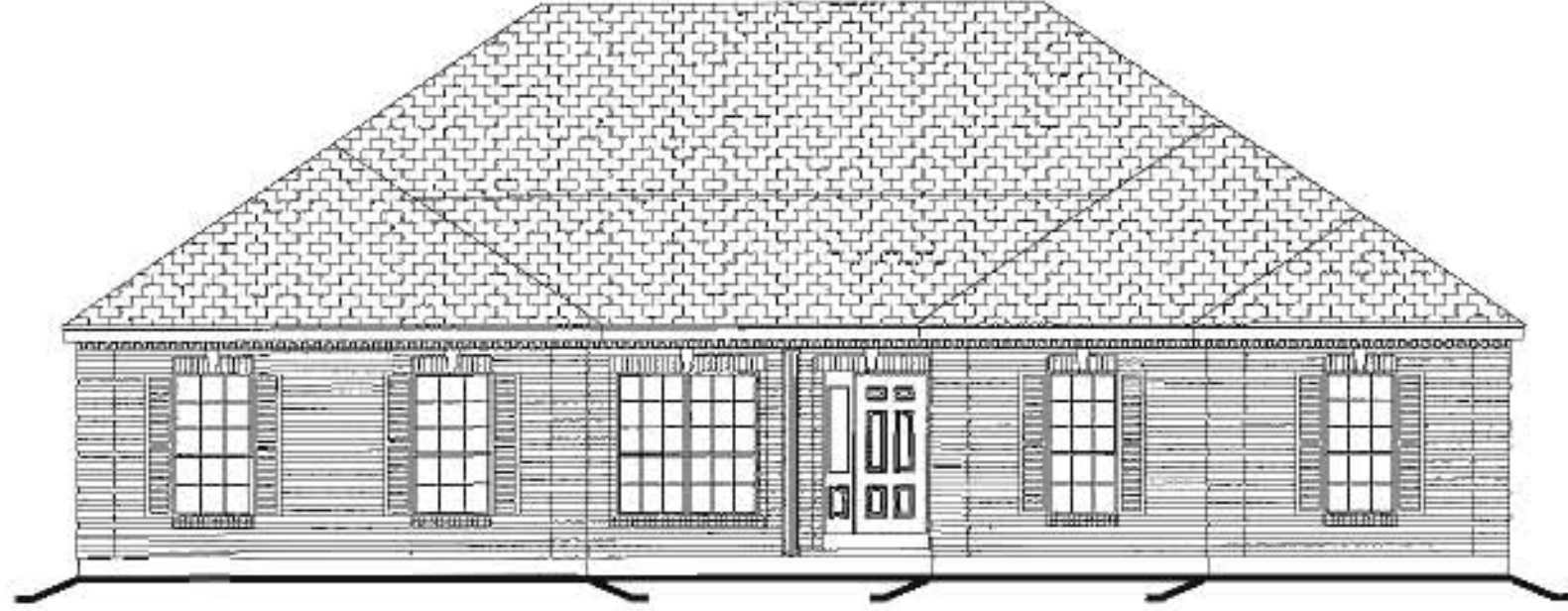
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BUCKLEY - 288 PLAN

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ELEVATION "A" - COLONIAL

CUMBERLAND II - 270 PLAN

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Sheet: Elevation "A" - Colonial
Architect: Barry L. Glantz
Firm: Glantz & Associates, Inc.
Project Location: Wildhorse Creek
Project No: 11-001



ELEVATION "B" - AMERICAN COLONIAL

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CUMBERLAND II - 270 PLAN

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CUMBERLAND II - 270 PLAN



ELEVATION "D" - ENGLISH MANOR

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CUMBERLAND II - 270 PLAN



ELEVATION "E" - RENAISSANCE

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Sheet 1 of 2
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ELEVATION "B" - FRENCH COLONIAL

WESTBROOK - 230 PLAN

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ELEVATION "C" - COLONIAL

WESTBROOK - 230 PLAN

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ELEVATION "E" - PROVINCIAL II

HAMPTON II - 177 PLAN

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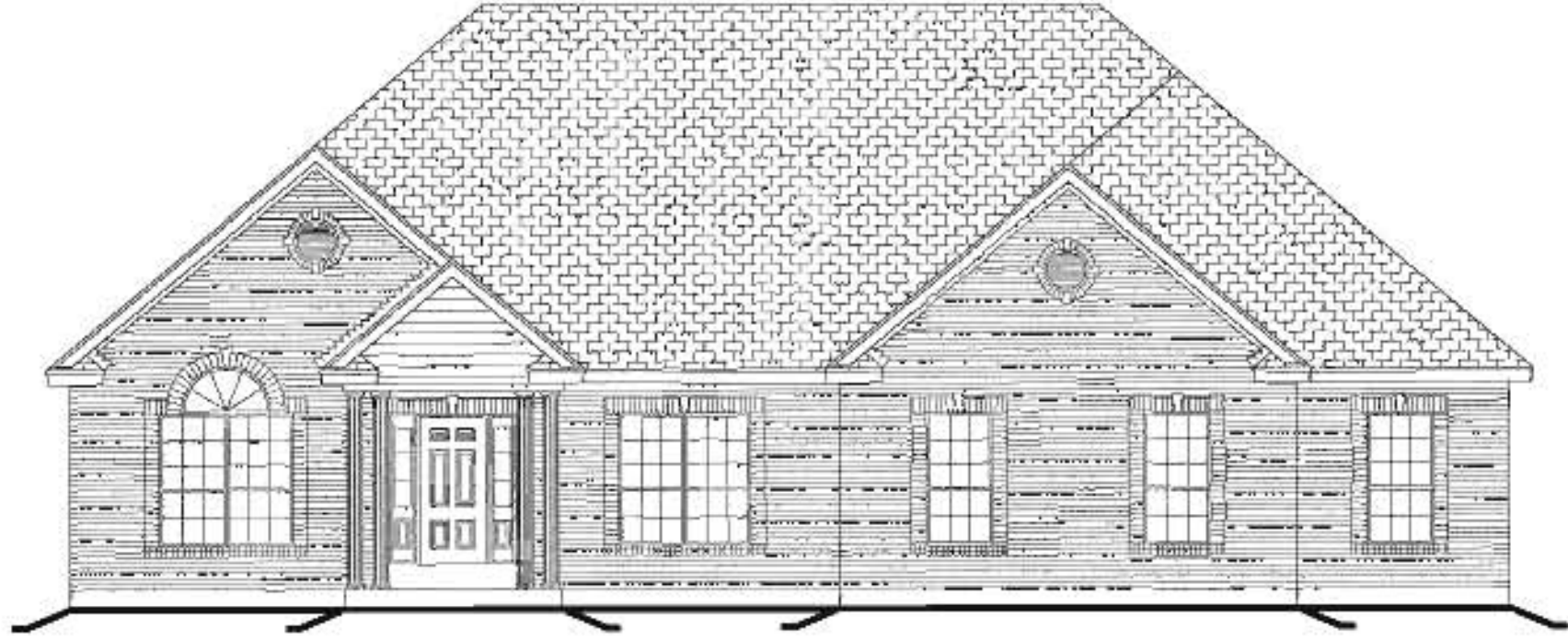
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ELEVATION "E" - PROVINCIAL II LEFT ELEV.

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WESTBROOK - 230 PLAN

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Sheet: 9 of 1



ELEVATION "A" - COLONIAL - LEFT ELEV

CUMBERLAND II - 270 PLAN

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Professional Seal Name: Barry Lutz
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FAX: (662) 537-6604

Arbors @
Wildhorse Creek

Barry Oeb
Registered Architect
No. 66247
Missouri
11/23/11



ELEVATION "G" - RUSTIC COLONIAL LEFT ELEV. BUCKLEY - 299 PLAN

SHEET	REV.
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DATE

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 PH. (410) 537-1000
 FAX. (410) 537-2544

Arbors @
 Wilchorse Creek

Scale: 1/4" = 1'-0"
 Date: 11/23/11
 Project: Buckley - 299 Plan
 Drawing: Elevation G - Rustic Colonial Left Elev.
 Designer: Barry G. Glantz
 Checker: [Signature]
 Title: Registered Architect
 State: Missouri
 No. 0000000000



ELEVATION "G" - RUSTIC COLONIAL RIGHT ELEV. BUCKLEY - 299 PLAN

SHEET	REV.
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FAX: (636) 537-2544

Arbors ©
Wildhorse Creek

Notes / Assumptions
Reference to
the following sheets
is hereby made:
1. General Notes
2. Foundation
3. Floor Slab
4. Foundation
5. Foundation
6. Foundation
7. Foundation
8. Foundation
9. Foundation
10. Foundation



ELEVATION "G" - RUSTIC COLONIAL REAR ELEV. BUCKLEY - 299 PLAN

SHEET	REV.
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ELEVATION "F" - ENGLISH TUDOR LEFT ELEV.

ELLINGTON - 320 PLAN

SHEET	REV.
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ELEVATION "F" - ENGLISH TUDOR RIGHT ELEV.

ELLINGTON - 320 PLAN

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Arora's
Wildhorse Creek

2012 - 2013
ARCHITECT
11/23/11



ELEVATION 'F' - ENGLISH TUDOR REAR ELEV.

ELLINGTON - 320 PLAN

SHEET	REV.
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Arco's
 Wilhorse Creek

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 To
 Change
 Without
 Notice
 The
 Designer
 Assumes
 No
 Responsibility
 For
 The
 Accuracy
 Of
 The
 Information
 Provided
 On
 This
 Sheet
 The
 Designer
 Assumes
 No
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 For
 The
 Accuracy
 Of
 The
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 Provided
 On
 This
 Sheet



ELEVATION "D" - PLANTATION - LEFT ELEV. WINDSOR - 420 PLAN

SHEET	REV.
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DATE

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1984 WINDLEY HICK ROAD SUITE 300
CHRISTIANFIELD, MO 63013
TEL: (636) 537-3000
FAX: (636) 537-0546

Arbors @
Wildhorse
Creek

DATE: 11/23/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/8" = 1'-0"
SHEET NO. 0
REV. 1



11/23/11

ELEVATION "D" - PLANTATION - REAR ELEV. WINDSOR - 420 PLAN

SHEET	REV
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Wildhorse
Creek

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ELEVATION 103 - FRENCH COLONIAL LEFT ELEV.

KENNINGTON - 490 PLAN

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Arbors @
 Wildhorse Creek

STATE OF MISSOURI
 REGISTERED ARCHITECT
 BARRY J. GLANTZ
 No. 11123
 EXPIRES 11/23/11



ELEVATION "C" - FRENCH COLONIAL RIGHT ELEV.

KENNINGTON - 480 PLAN

SHEET	REV.

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 FAX: (636) 537-2506

Arbors @ Wildhorse Creek

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 CHRISTIANSTOWN, MO 63017
 PH: (636) 537-2500
 FAX: (636) 537-2506

ARBORS AT WILDHORSE CREEK

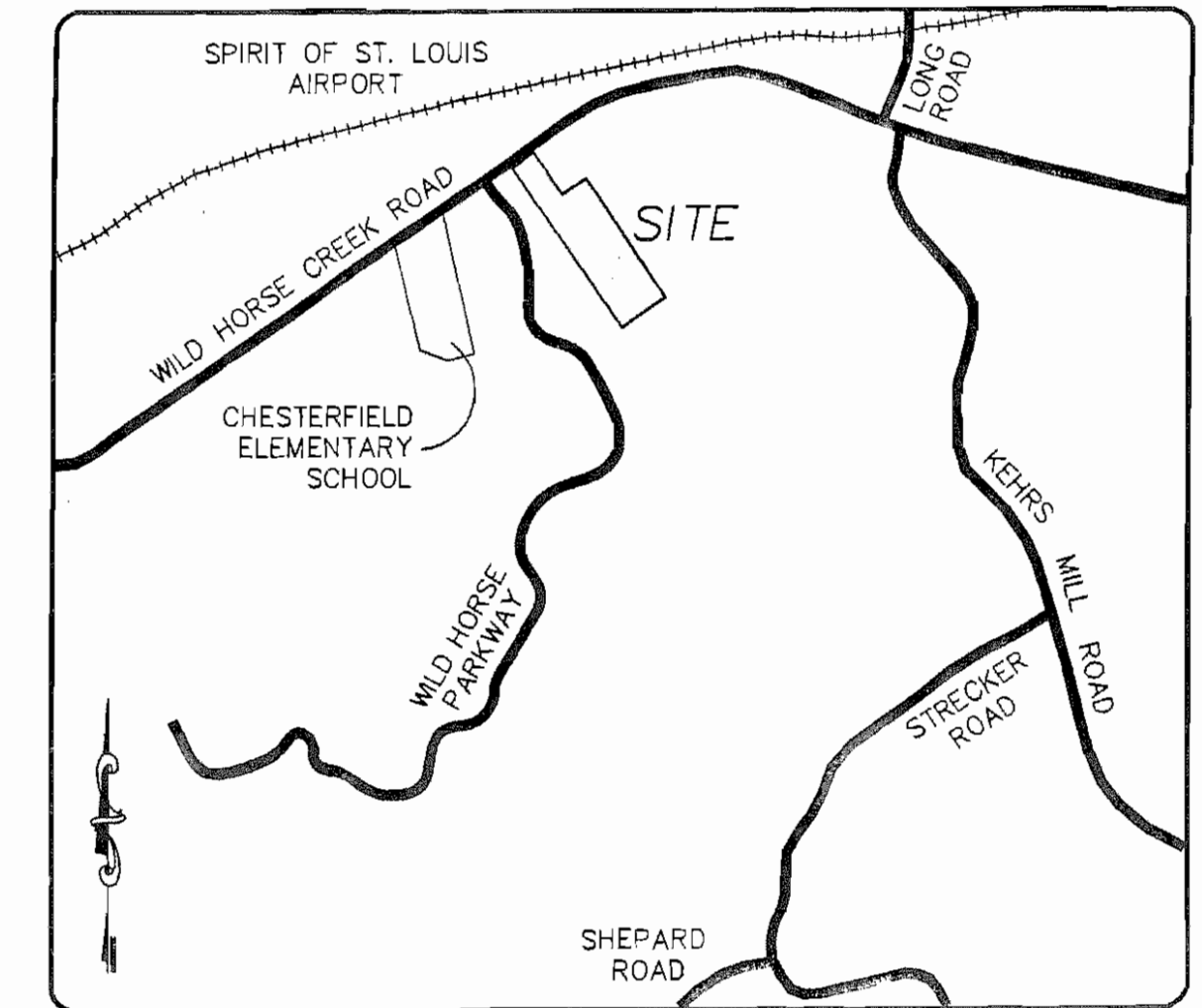
A TRACT OF LAND BEING A PART OF LOT 7 AND PART OF LOT 8 IN MARY SCHAEFFER ESTATE
AND BEING SITUATED IN U.S. SURVEY 150, TOWNSHIP 45 NORTH, RANGE 3 EAST,
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI
SITE DEVELOPMENT PLAN

GENERAL NOTES:

- THIS SITE IS IN THE FOLLOWING DISTRICTS:
METROPOLITAN ST. LOUIS SEWER DISTRICT
MONARCH FIRE PROTECTION DISTRICT
ROCKWOOD R-6 SCHOOL DISTRICT
- THIS SITE IS IN THE FOLLOWING UTILITY SERVICE AREAS:
MISSOURI AMERICAN WATER COMPANY
AMEREN UE
AT&T
LACLEDE GAS COMPANY
CHARTER COMMUNICATIONS
- SANITARY SEWER CONSTRUCTION AND CONNECTIONS SHALL BE AS APPROVED BY THE METROPOLITAN ST. LOUIS SEWER DISTRICT AND IN ACCORDANCE WITH THE STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES.
- STORM WATER SYSTEM SHALL BE DESIGNED PURSUANT TO THE CITY OF CHESTERFIELD AND METROPOLITAN ST. LOUIS SEWER DISTRICT REQUIREMENTS AND DISCHARGE AT AN ADEQUATE NATURAL DISCHARGE POINT.
- NO SLOPES SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF CHESTERFIELD.
- THE LOCATION OF STORM AND SANITARY SEWER IMPROVEMENTS ARE APPROXIMATE ONLY. ACTUAL LOCATION SHALL BE DETERMINED BY FIELD CONDITIONS AND SHALL BE INDICATED ON THE IMPROVEMENT PLANS.
- GRADING SHALL BE PER CITY OF CHESTERFIELD STANDARDS. SOURCE OF TOPOGRAPHY MSD ORTHOTOPO.
- STREET TREES AND STREET LIGHTS (UNLESS OTHERWISE DEPICTED) SHALL BE PER CITY OF CHESTERFIELD STANDARDS.
- PROJECT IDENTIFICATION SIGNS SHALL HAVE A MAXIMUM AREA OF FIFTY (50) SQUARE FEET, A MAXIMUM HEIGHT OF SIX (6) FEET, AND SHALL REMAIN OUTSIDE OF THE THIRTY (30) FOOT SIGHT DISTANCE TRIANGLE.
- NEAREST MAJOR INTERSECTION IS WILDHORSE CREEK ROAD AND LONG ROAD.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO ADA AND THE CITY OF CHESTERFIELD STANDARDS.
- EXISTING OWNERS: 17560 WILDHORSE CREEK, LLC
1422 PAULAND PLACE
CHESTERFIELD, MO 63005-4319
- SITE TO CONFORM TO THE CITY OF CHESTERFIELD TREE REQUIREMENTS.
- MAXIMUM HEIGHT OF THE RESIDENCES WILL NOT EXCEED 50 FEET.

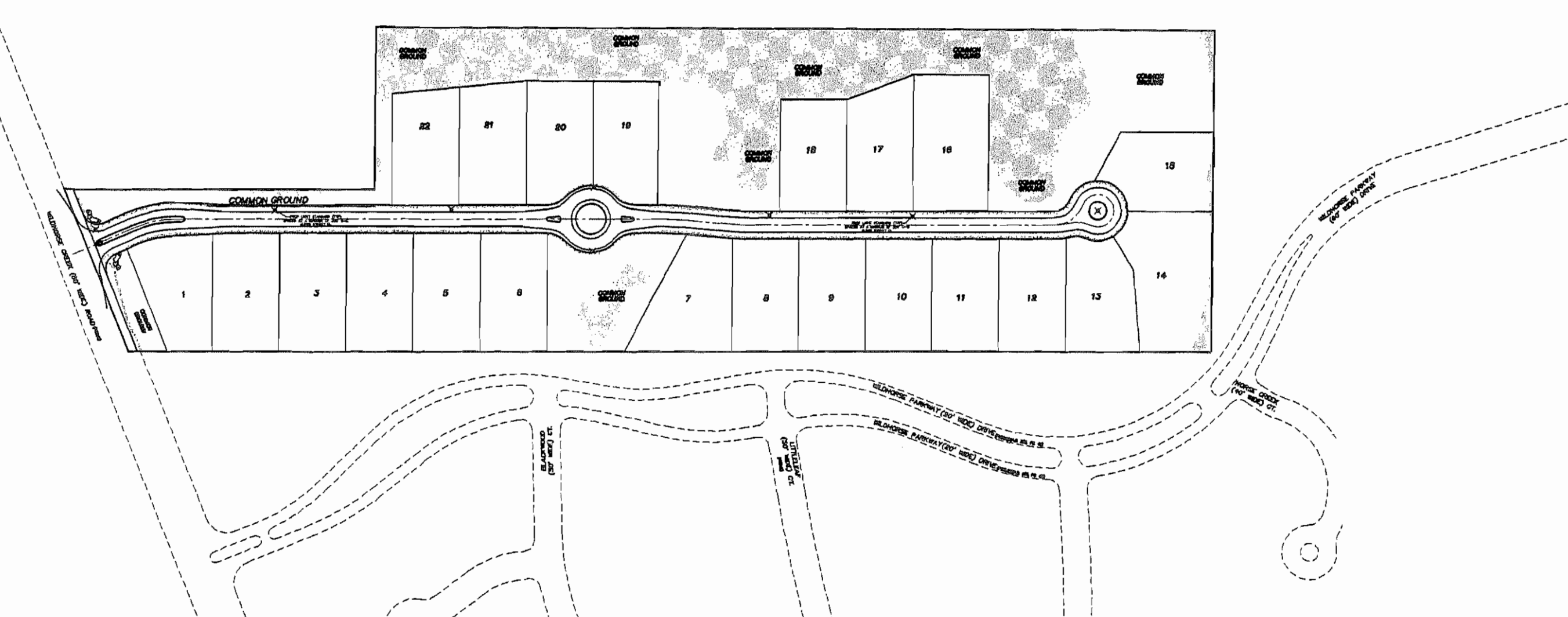
SITE INFORMATION

LOCATOR NUMBERS: 18V330046
EXISTING ZONING: "PUD" PLANNED UNIT DEVELOPMENT (ORDINANCE 2878)
GROSS AREA OF SITE: 23.42 ACRES
AVERAGE LOT SIZE: 26,112 S.F.
MAXIMUM NUMBER OF UNITS ALLOWED: 22
NUMBER OF UNITS PROPOSED: 22
LOT DEVELOPMENT REQUIREMENTS:
FRONT YARD SETBACK 20'
SIDE YARD SETBACK 10' UNLESS OTHERWISE SHOWN
REAR YARD SETBACK (LOTS 1-13) 50'
REAR YARD SETBACK (LOT 14) 50' ON WESTERN PROPERTY LINE
REAR YARD SETBACK (LOTS 15-22) 25' ON SOUTHERN PROPERTY LINE
MIN. LOTS SIZE 24,000 SQ. FT.
NUMBER OF PARKING SPACES: TWO PER UNIT = 44 SPACES.
PROPOSED STREETS SHALL BE PUBLIC 26' WIDE PAVEMENT WITH 50' WIDE R.O.W.
COMMON GROUND = 7.81 ACRES WHICH EQUALS 33.3% OF THE SITE.
FLOOD MAP: FIRM NO. 29189C0120H DATED 03-02-95



LOCATION MAP
N.T.S.

1" = 200'



EXISTING	PROPOSED
542	CONTOURS
1556	SPOT ELEVATIONS
	CENTER LINE
	BUILDINGS, ETC.
	TRUCK LANE
	FENCE
	STORM SEWERS
	SANITARY SEWERS
	CATCH BASIN
	GRATE INLET
	STORM MANHOLE
	SANITARY MANHOLE
	FRANKS END SECTION
	CLEARCUT
	LANDSCAPE CONNECTION
	UTILITY OR POWER POLE
	LINE HYDRANT
	TRUCK HOLE
	PAVEMENT
	GAS MAIN & SIZE
	WATER MAIN & SIZE
	TELEPHONE
	ELECTRIC (U) UNDERGROUND
	ELECTRIC (O) OVERHEAD
	FLOW LINE
	TO BE REMOVED
	TOP OF CURB
	SWALE
	RIGHT STANDARD
	STREET SIGN
	PARKING STALLS
	YARD LIGHT

PROJECT ZIP CODE: 63005

INDEX OF SHEETS

1.1	COVER SHEET
2.1-2.2	SITE DEVELOPMENT PLAN
3.1	CROSS SECTIONS/ENTRANCE DETAIL
4.1-4.2	LIGHTING PLAN
5.1	ORDINANCE SHEET
L-1 - L-3	LANDSCAPE PLAN

BENCHMARK INFORMATION

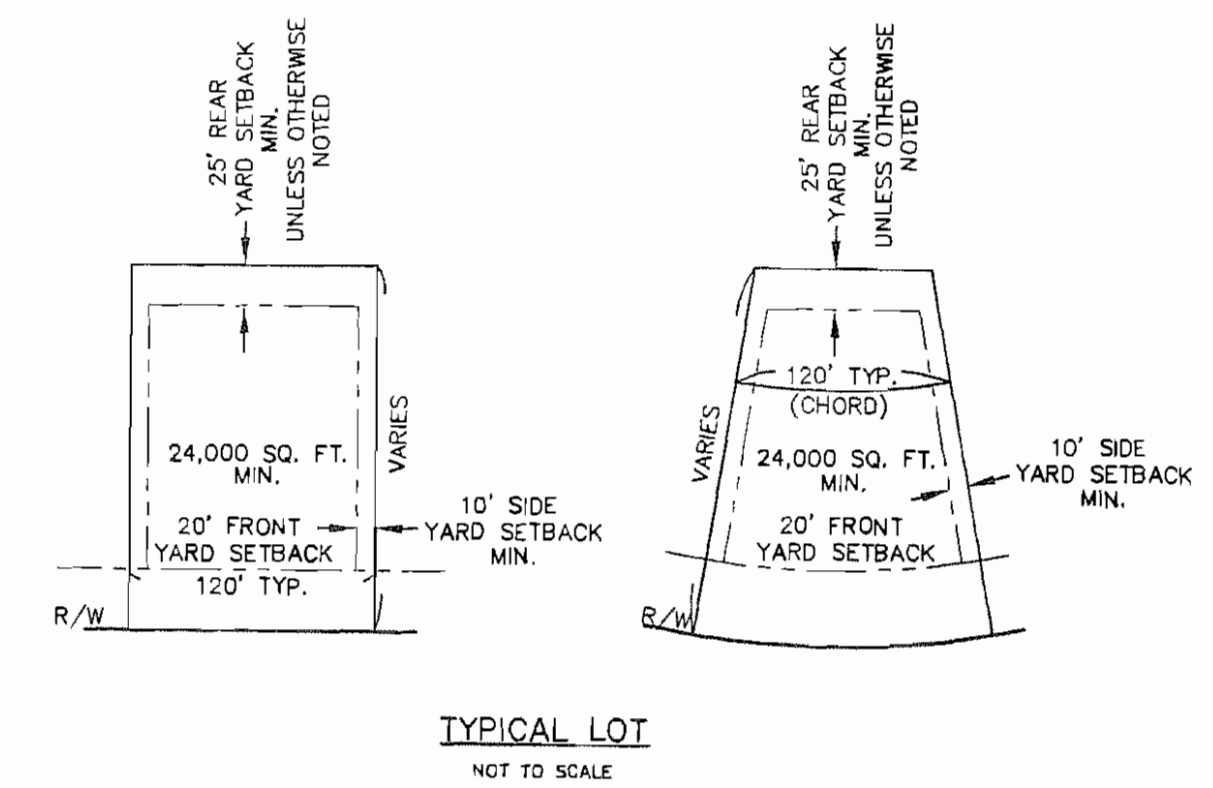
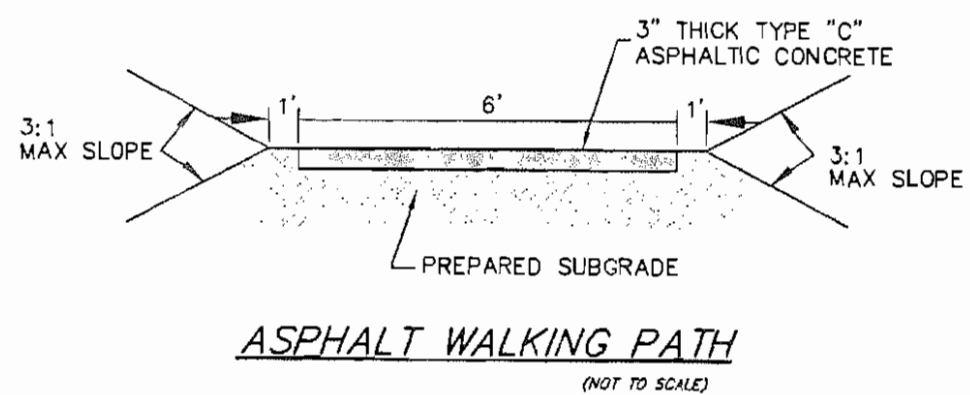
COUNTY BENCHMARK: 11-1 ELEVATION = 541.50' (NAVD 88)
"STANDARD TABLET" STAMPED 96-75 S.L.C. SET IN WEST END OF NORTH HEADWALL OF SMALL DRAIN CROSSING UNDER WILD HORSE CREEK ROAD; 0.4 MILE EAST OF THE CHESTERFIELD SCHOOL, 75' EAST OF GRAVEL DRIVE AT #17531 WILD HORSE CREEK ROAD.
SITE BENCHMARK: ELEVATION = 533.17'
"IRON ROD" SET IN GRASS AT SOUTHEAST CORNER OF CHURCH PROPERTY AT #17560 WILD HORSE CREEK ROAD; 240 FEET SOUTHWEST OF THE SOUTHWEST CORNER OF BUILDING, 82 FEET SOUTHWEST OF SOUTHWEST CORNER OF ASPHALT PARKING LOT AND 96 FEET NORTHWEST OF SOUTHWEST CORNER OF FENCE FOR PLAYGROUND.

SURVEYORS CERTIFICATION

THIS IS TO CERTIFY THAT WE HAVE, DURING THE MONTH OF NOVEMBER, 2011, AT THE REQUEST OF McBride Wildhorse, LLC PREPARED A SITE DEVELOPMENT PLAN OF "ARBORS AT WILDHORSE CREEK" A TRACT OF LAND BEING A PART OF LOT 7 AND PART OF LOT 8 IN MARY SCHAEFFER ESTATE BEING SITUATED IN U.S. SURVEY 150, TOWNSHIP 45 NORTH, RANGE 3 EAST, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI. THIS PLAN IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" (10 CSR 30-2 AND 4 CSR 30-16 EFFECTIVE DATE DECEMBER 30, 1994).

THE STERLING COMPANY
George J. Gower - Vice President
MO. Reg. L.S. - #2336

MSD Base Map 18V
MSD P-0029375-00
Highway & Traffic #



LEGAL DESCRIPTION

A TRACT OF LAND BEING ALL OF LOT 1 OF MARY SCHAEFFER ESTATE ADJUSTMENT; A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 352, PAGE 809 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS, SITUATED IN U.S. SURVEY 150, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF ABOVE SAID LOT 1, SAID CORNER BEING THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF WILDHORSE CREEK ROAD (60 FEET WIDE) AND THE WEST LINE OF LOT 7 OF MARY SCHAEFFER ESTATE; A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 17, PAGE 4 OF ABOVE SAID RECORDS; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE OF WILDHORSE CREEK ROAD, NORTH 55 DEGREES 15 MINUTES 36 SECONDS EAST, 314.28 FEET TO A POINT BEING THE NORTHWEST CORNER OF LOT 2 OF ABOVE SAID MARY SCHAEFFER ESTATE ADJUSTMENT; THENCE LEAVING SAID RIGHT-OF-WAY LINE AND ALONG THE WEST LINE OF SAID LOT 2, SOUTH 12 DEGREES 36 MINUTES 16 SECONDS EAST, 558.02 FEET TO POINT BEING THE SOUTHWEST CORNER OF SAID LOT 2; THENCE LEAVING SAID WEST LINE AND ALONG THE SOUTH LINE OF SAID LOT 2, NORTH 77 DEGREES 39 MINUTES 28 SECONDS EAST, 291.46 FEET TO A POINT BEING THE SOUTHWEST CORNER OF SAID LOT 2, SAID POINT ALSO BEING ON THE EAST LINE OF LOT 8 OF SAID MARY SCHAEFFER ESTATE; THENCE LEAVING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID LOT 8, SOUTH 12 DEGREES 22 MINUTES 00 SECONDS EAST, 1511.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE LEAVING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID LOT 8 AND ITS PROLONGATION, BEING THE SOUTH LINE OF SAID LOT 7, SOUTH 77 DEGREES 39 MINUTES 28 SECONDS WEST, 576.03 FEET TO A POINT BEING THE SOUTHWEST CORNER OF SAID LOT 7; THENCE LEAVING SAID SOUTH LINE AND ALONG THE WEST LINE OF SAID LOT 7, NORTH 12 DEGREES 36 MINUTES 48 SECONDS WEST, 1949.28 FEET TO THE POINT OF BEGINNING AND CONTAINS 1,020,280 SQUARE FEET, OR 23.42 ACRES, MORE OR LESS.

ISSUE	REMARKS/DATE
1	11-15-2011, INITIAL SUBMITTAL
2	12-5-2011, CITY COMMENTS
3	12-19-2011, CITY COMMENTS
4	1-12-2012, CITY COMMENTS

McBride Wildhorse, LLC
5091 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-6717

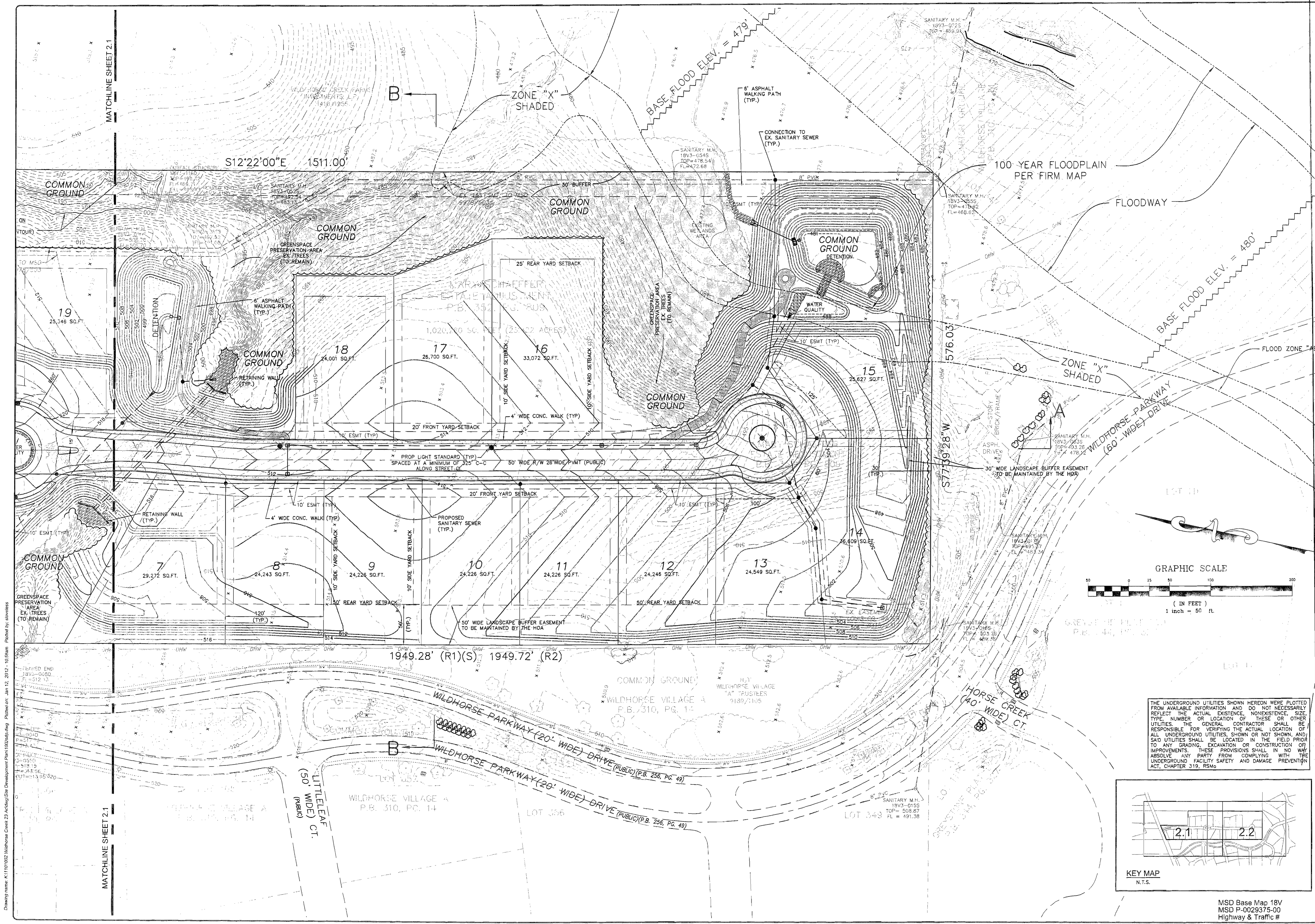
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8844
www.sterling-engineers.com
Corporate Certificate of Authority #001348

Arbors at Wildhorse Creek
Chesterfield, Missouri
COVER SHEET

The Professional Engineer's seal and signature are placed on this sheet. All drawings, instruments or other documents and exhibits filed herewith are the property of the engineer and shall remain his property. The engineer assumes no responsibility for any errors or omissions in this plan, drawings or instruments and warrants the use and accuracy of the same.
Date: 11/15/2011
Michael G. Boeringer
License No. E-26643
Civil Engineer

Job Number	11-01-002
Date	NOV. 15, 2011
Designed:	Sheet
Drawn:	1.1
Checked:	SDP

Drawing name: K:\1101002 Wildhorse Creek 23 Arbors Site Development Plan 1002.sdp.dwg Plotted on: Jan 12, 2012 - 10:58am Plotted by: stovines



ISSUE	REMARKS/DATE
1	11-15-2011, INITIAL SUBMITTAL
2	12-5-2011, CITY COMMENTS
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Arbors at Wildhorse Creek
 Chesterfield, Missouri
PRELIMINARY PLAN

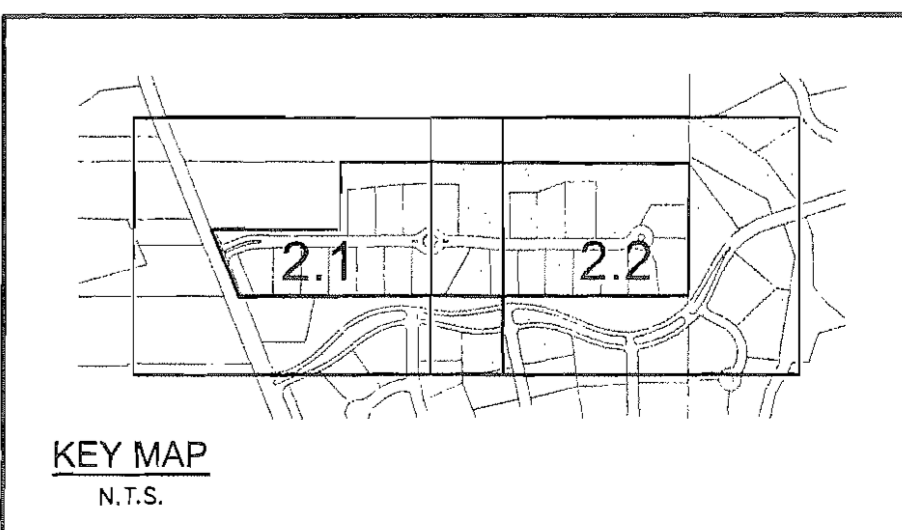
THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

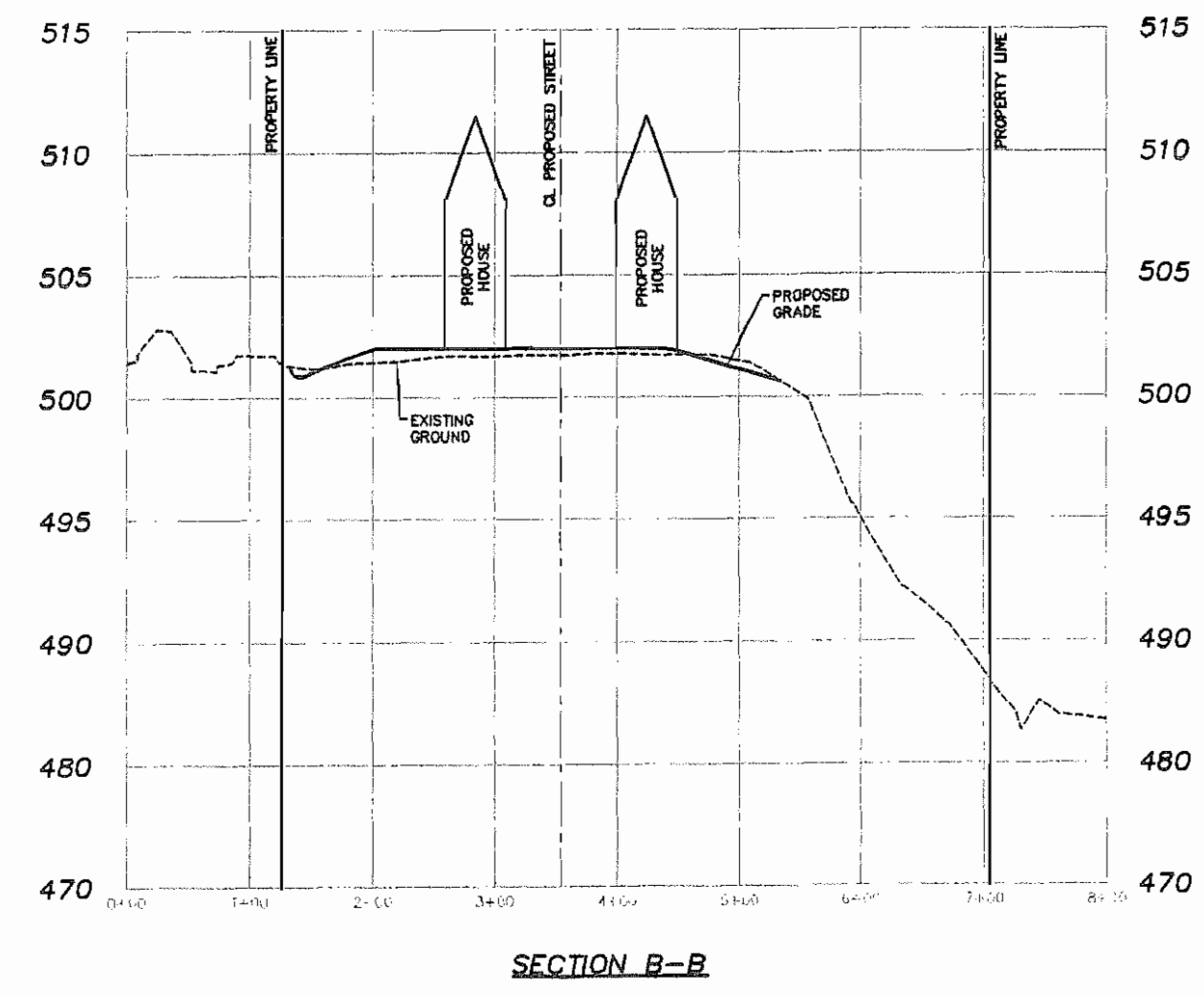
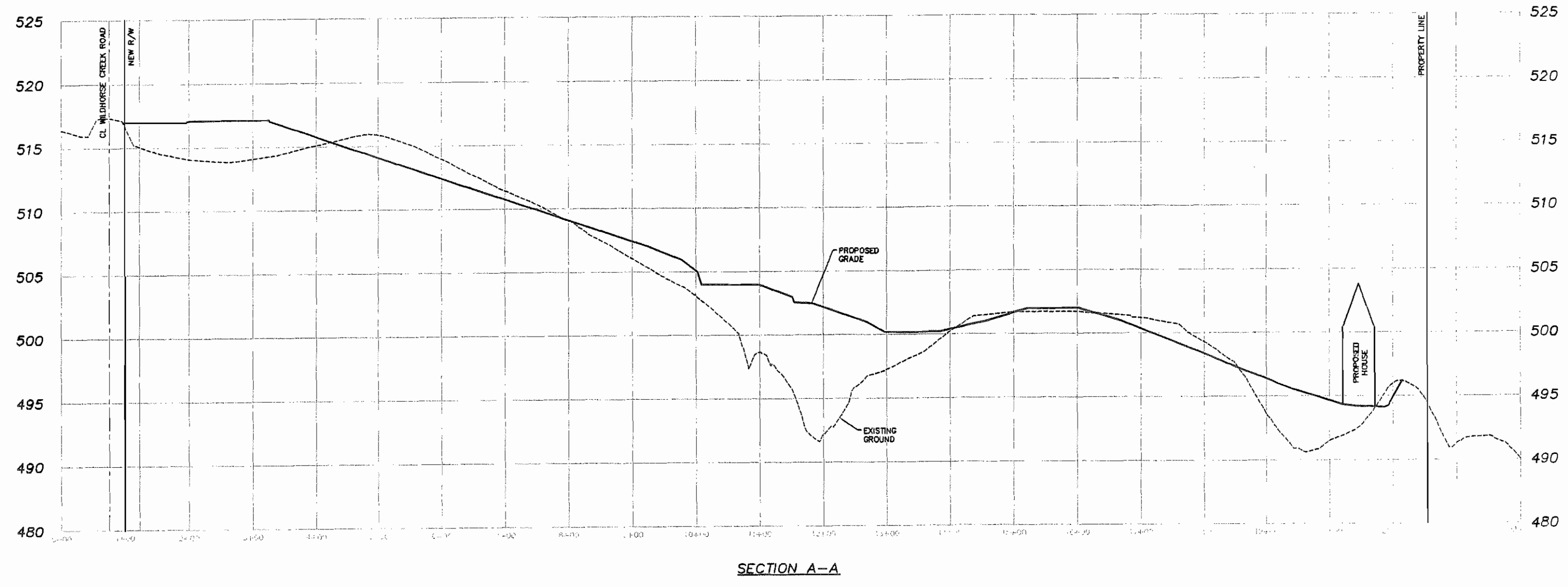
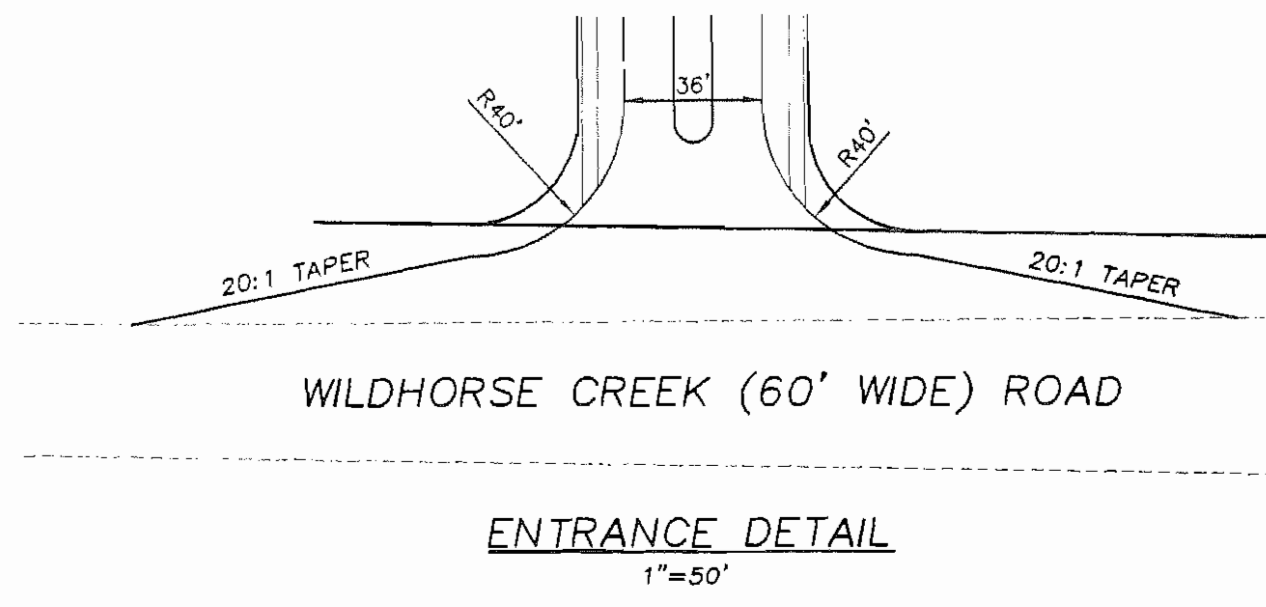
Professional Engineer's Seal and Signature of Michael G. Boarding, License No. E-28643, dated 11/2/2012.

Date: 11/2/2012
 License No. E-28643
 Civil Engineer

Job Number: 11-01-002
 Date: NOV. 15, 2011
 Designed: Sheet 2.2
 Drawn: 2.2
 Checked: SDP

MSD Base Map 18V
 Highway & Traffic #





Drawing name: K:\1101002 Wildhorse Creek 23 Act\ug\Site Development Plan\1002\2d\dwg Plotter: Jun 12, 2012 - 10:56am Plotted by: slweiss

MSD Base Map 18V
MSD P-0029375-00
Highway & Traffic #

ISSUE	REMARKS/DATE
1	11-15-2011, INITIAL SUBMITTAL
2	12-5-2011, CITY COMMENTS
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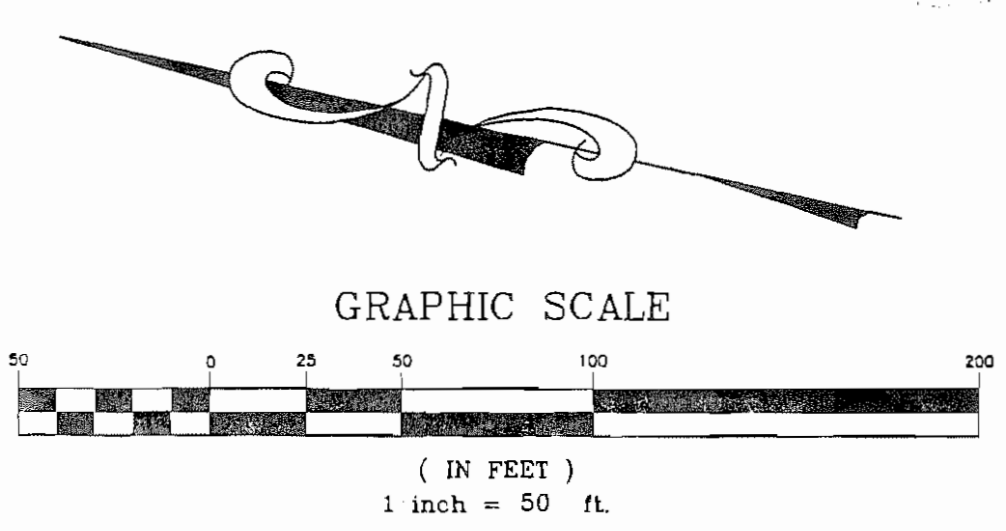
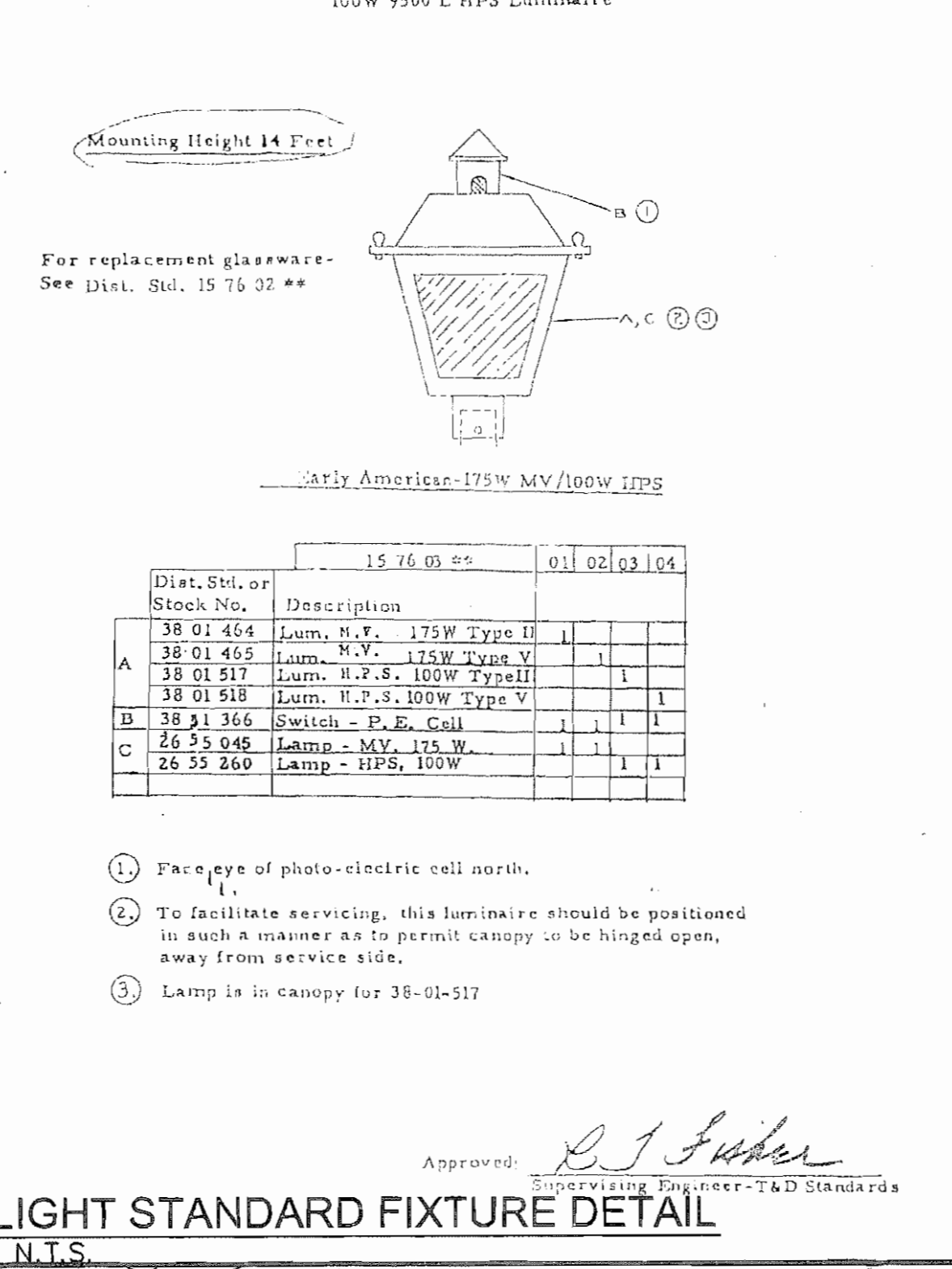
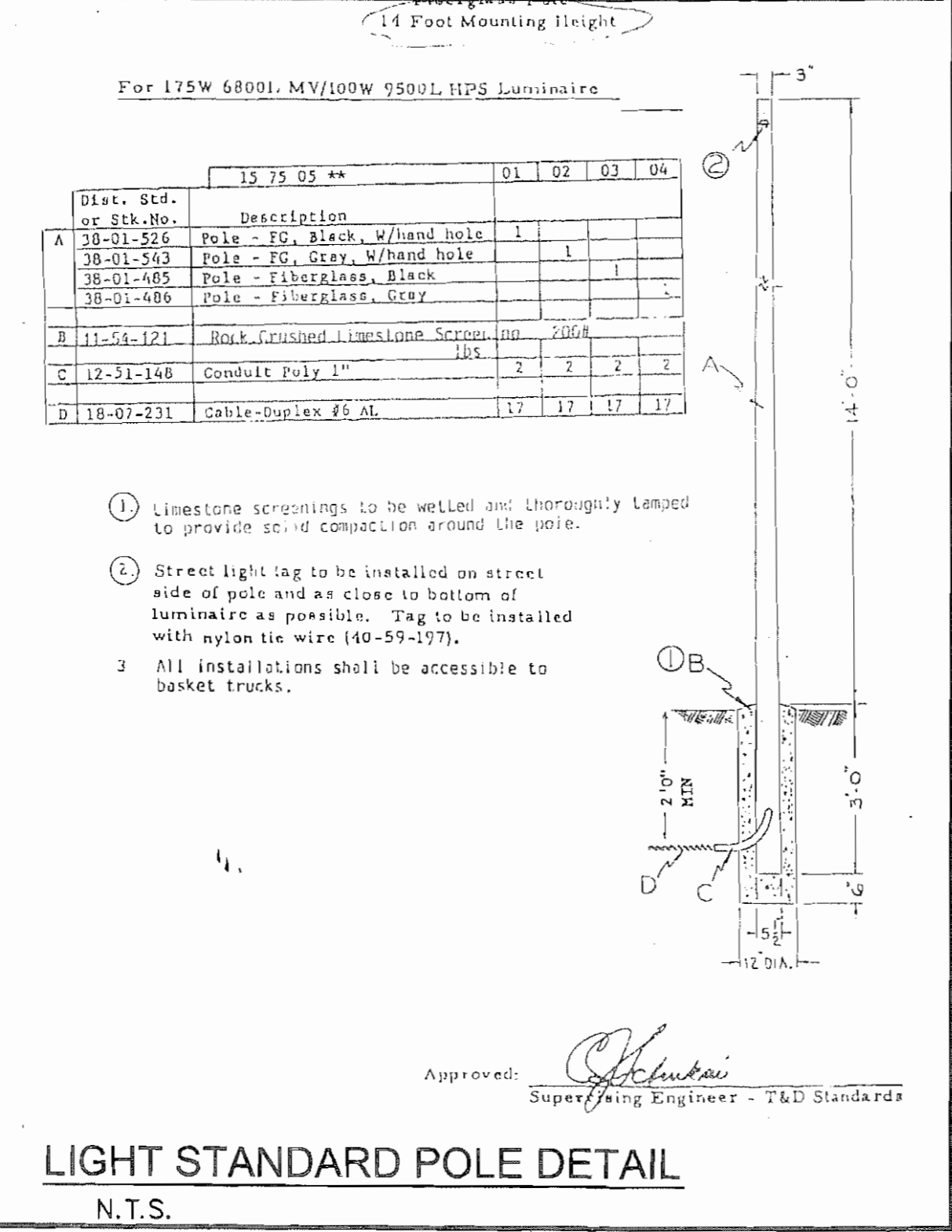
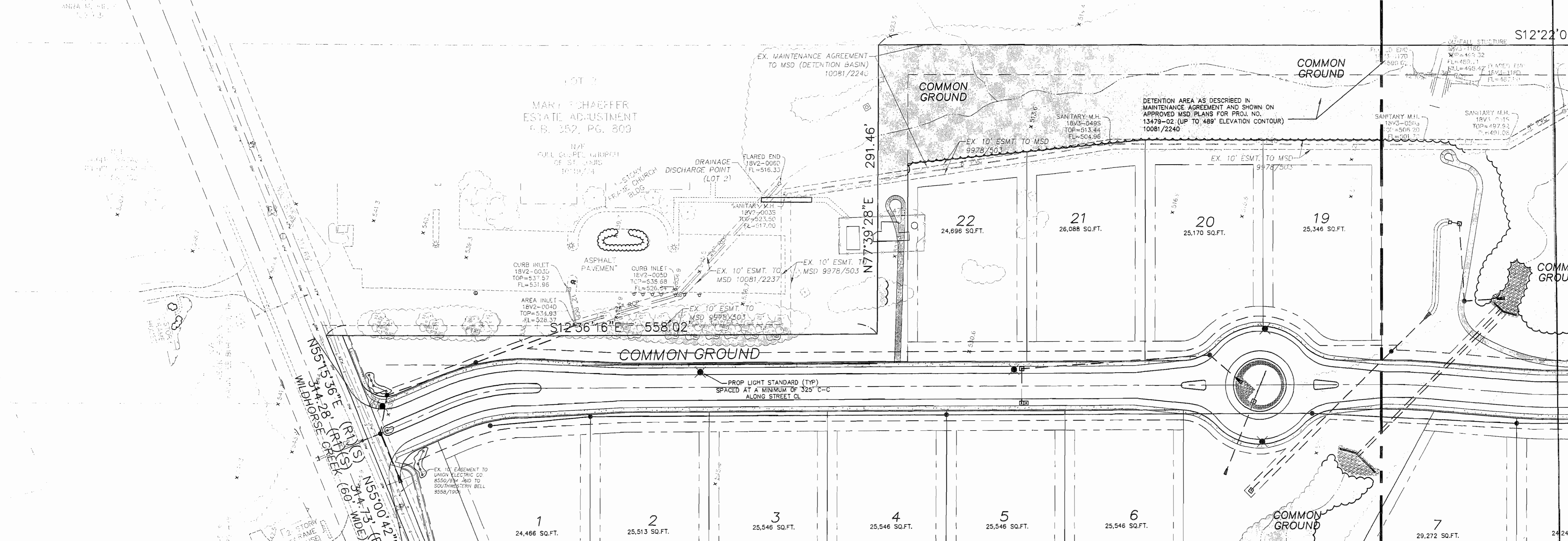
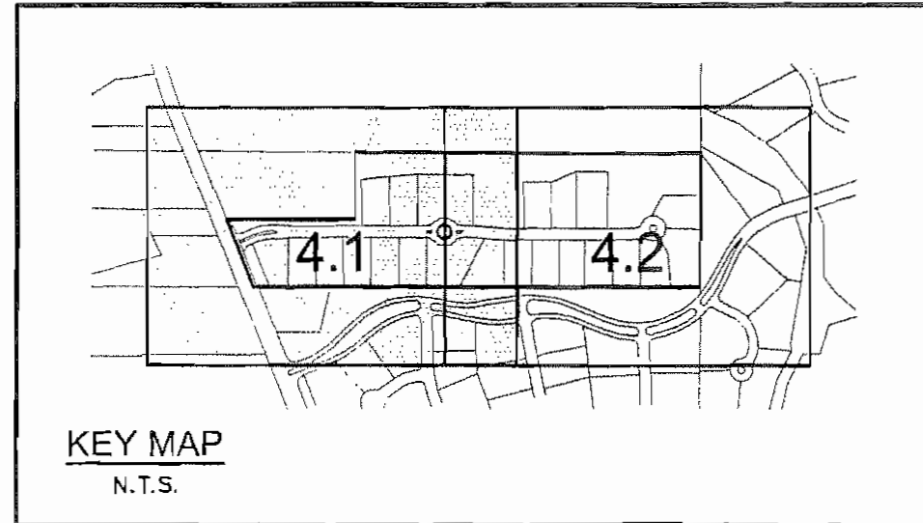
Arbors at Wildhorse Creek
Chesterfield, Missouri
CROSS SECTIONS / ENTRANCE DETAIL

The Professional Engineer's seal and signature are placed in the upper right-hand corner of the drawings and shall not be used for any other drawings, instruments or other documents not prepared by the engineer and designed for the use intended. The engineer shall be responsible for the accuracy of the drawings and instruments and shall not be held responsible for any errors or omissions not resulting from the seal and signature.

Michael G. Boarding
Date: 11/15/2011
Michael G. Boarding
License No. E-28643
Civil Engineer

Job Number: 11-01-002
Date: NOV. 15, 2011
Designed: Sheet
Drawn: 3.1
Checked: SDP

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



ISSUE	REMARKS/DATE
1	11-15-2011, INITIAL SUBMITTAL
2	12-5-2011, CITY COMMENTS
3	12-19-2011, CITY COMMENTS
4	1-12-2012, CITY COMMENTS

McBride Wildhorse, L.L.C.
 5091 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-6717

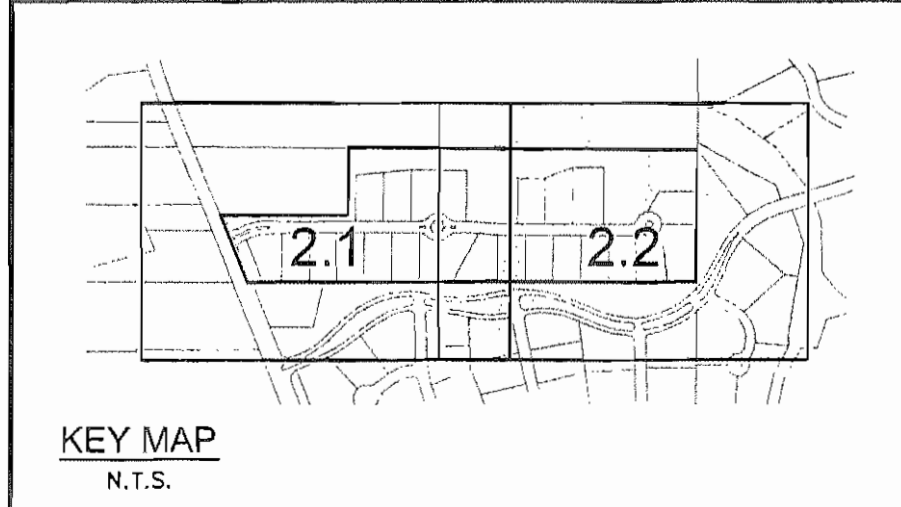
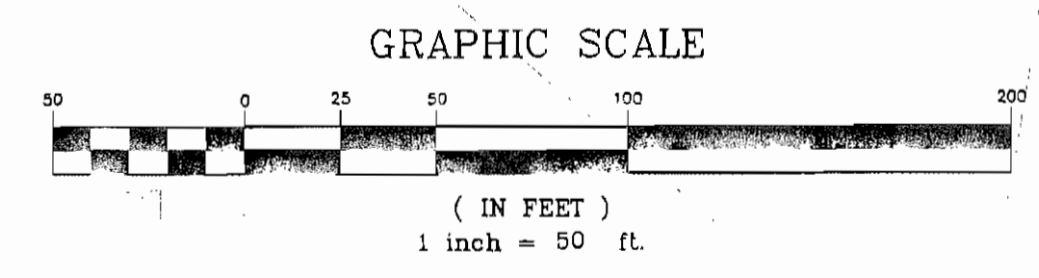
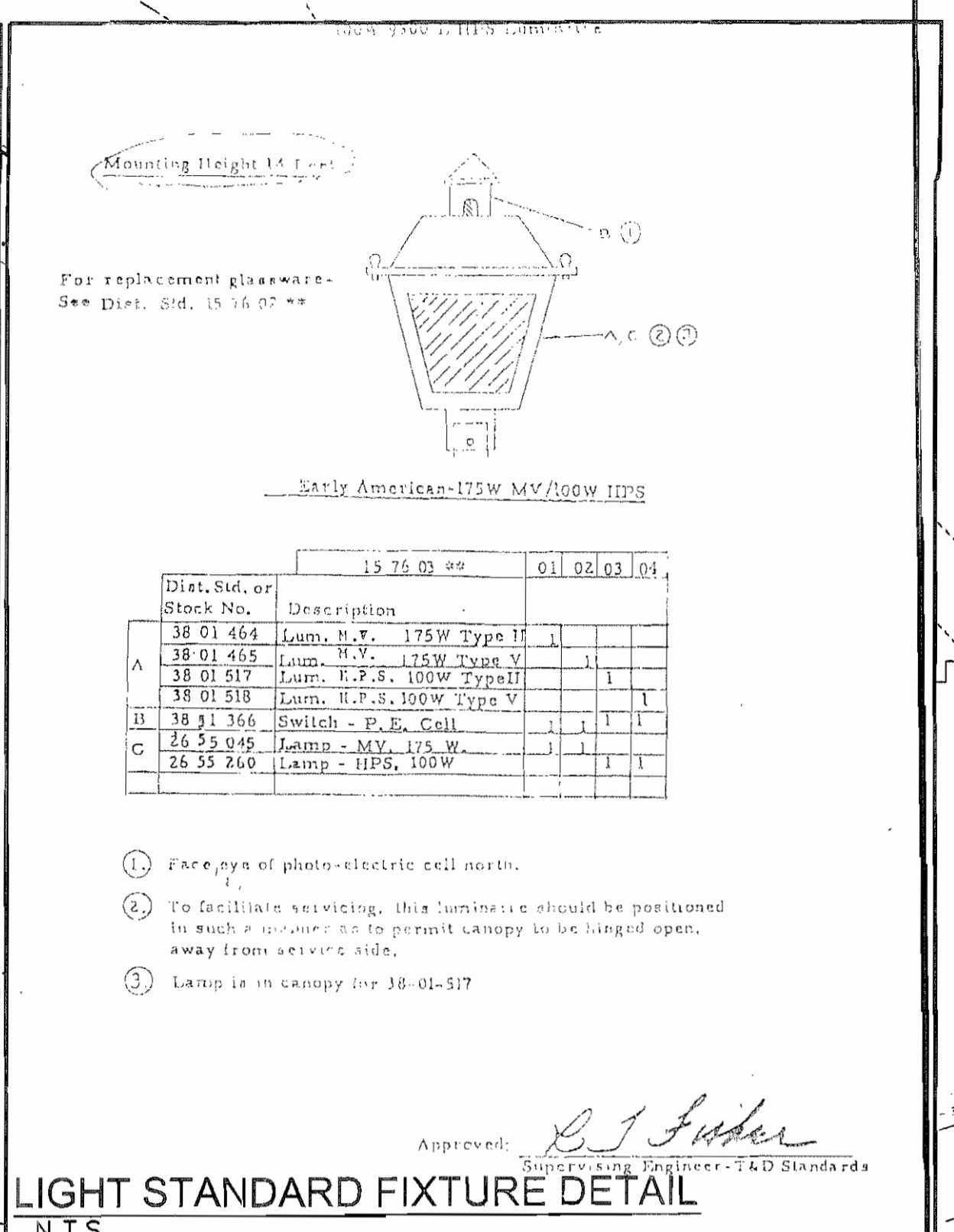
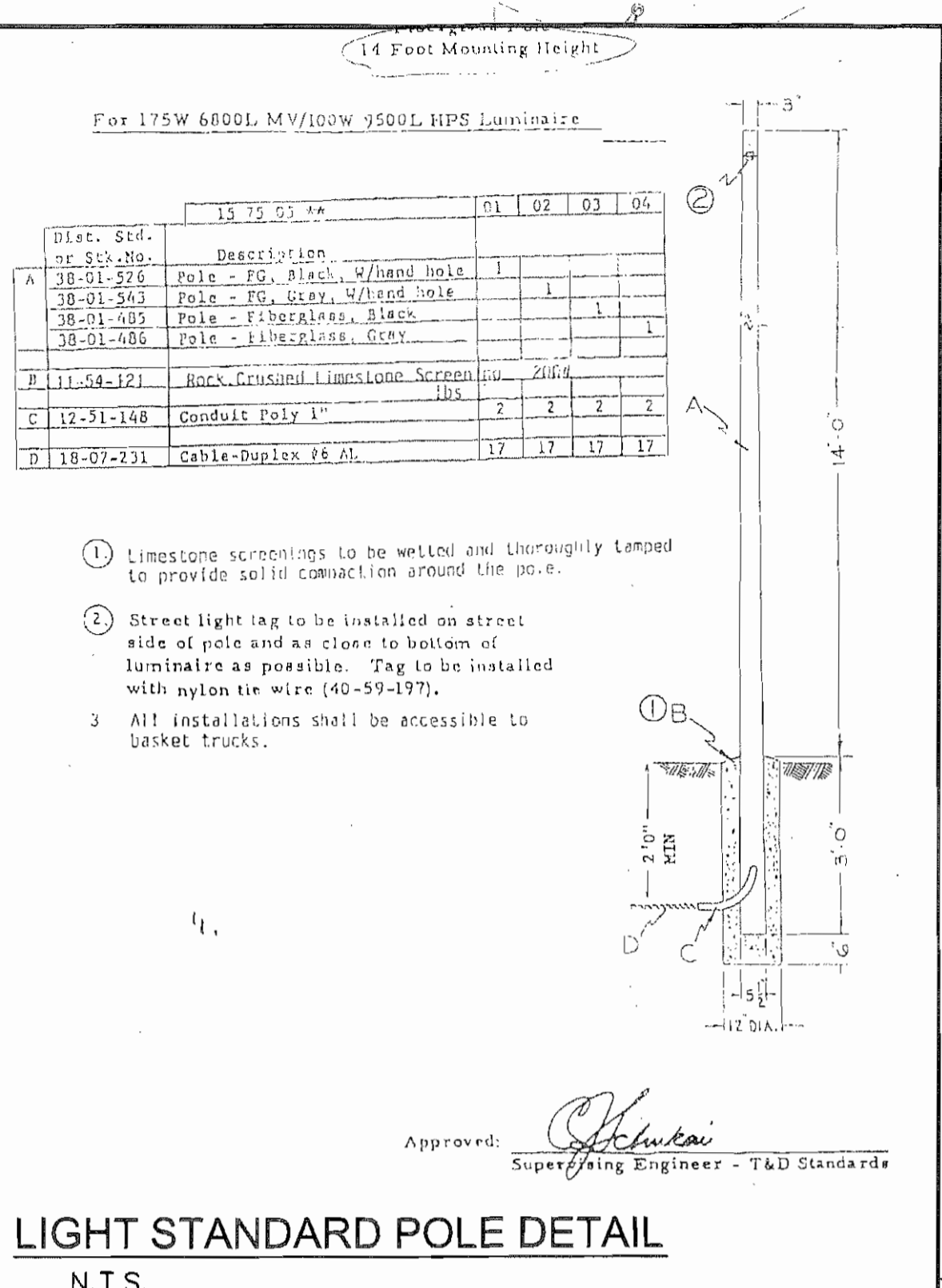
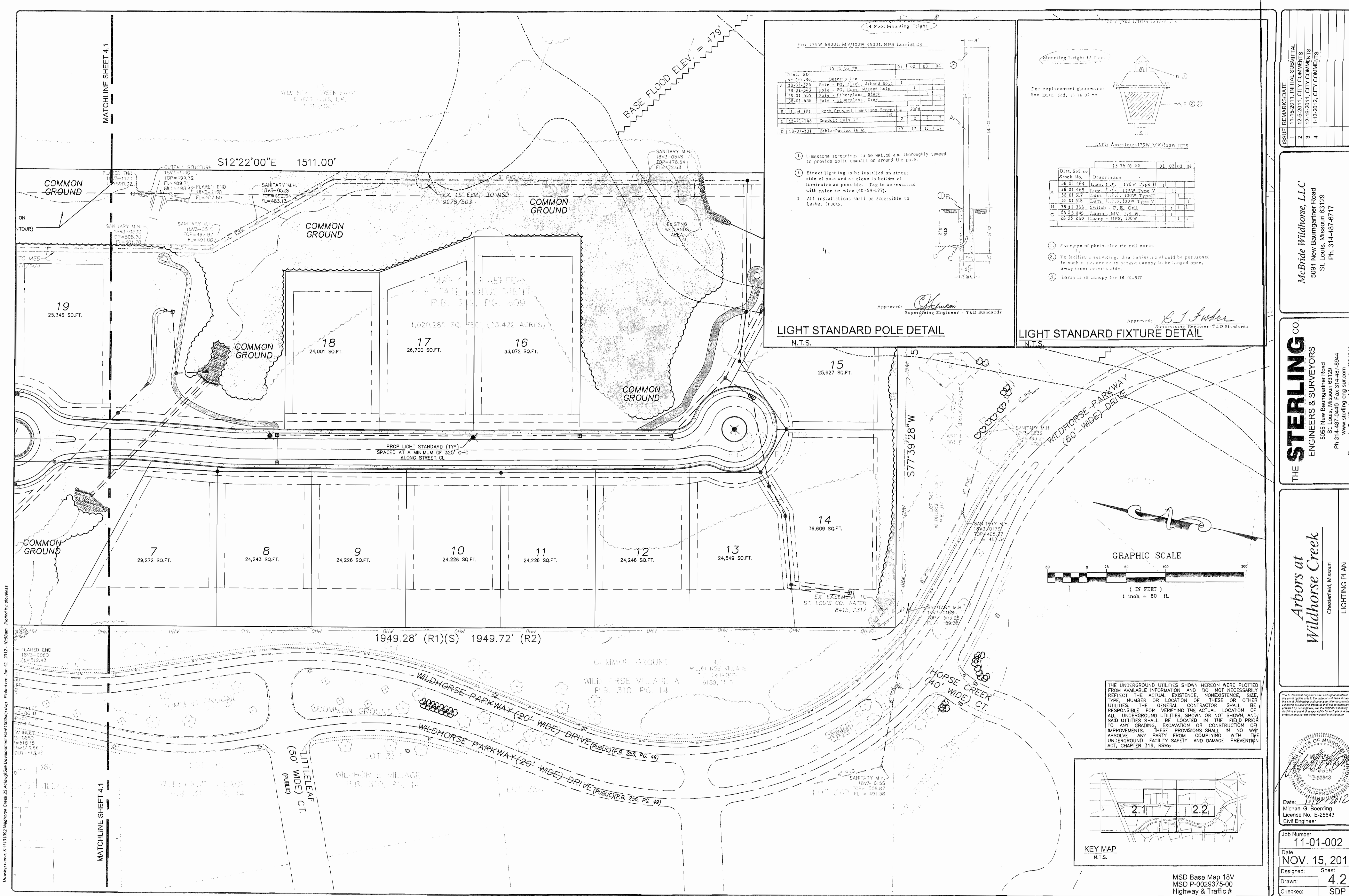
THE STERLING CO.
ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax 314-487-8944
 www.sterling-eng-survey.com
 Corporate Certificate of Authority #001348

Arbors at Wildhorse Creek
 Chesterfield, Missouri
 LIGHTING PLAN

Date: 11-15-2011
 Michael G. Boarding
 License No. E-28643
 Civil Engineer

Job Number: 11-01-002
 Date: NOV. 15, 2011
 Designed: Sheet
 Drawn: 4.1
 Checked: SDP

MSD Base Map 18V
 MSD P-0029375-00
 Highway & Traffic #



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

REMARKS/DIATE

ISSUE	DATE	DESCRIPTION
1	11-15-2011	INITIAL SUBMITTAL
2	12-5-2011	CITY COMMENTS
3	12-19-2011	CITY COMMENTS
4	1-12-2012	CITY COMMENTS

McBride Wildhorse, LLC
5091 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-6717

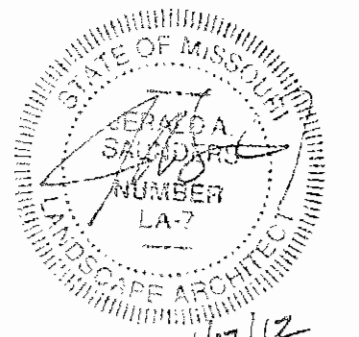
THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-9944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001048

Arbors at Wildhorse Creek
Chesterfield, Missouri
LIGHTING PLAN

Date: *[Signature]*
Michael G. Boering
License No. E-28643
Civil Engineer

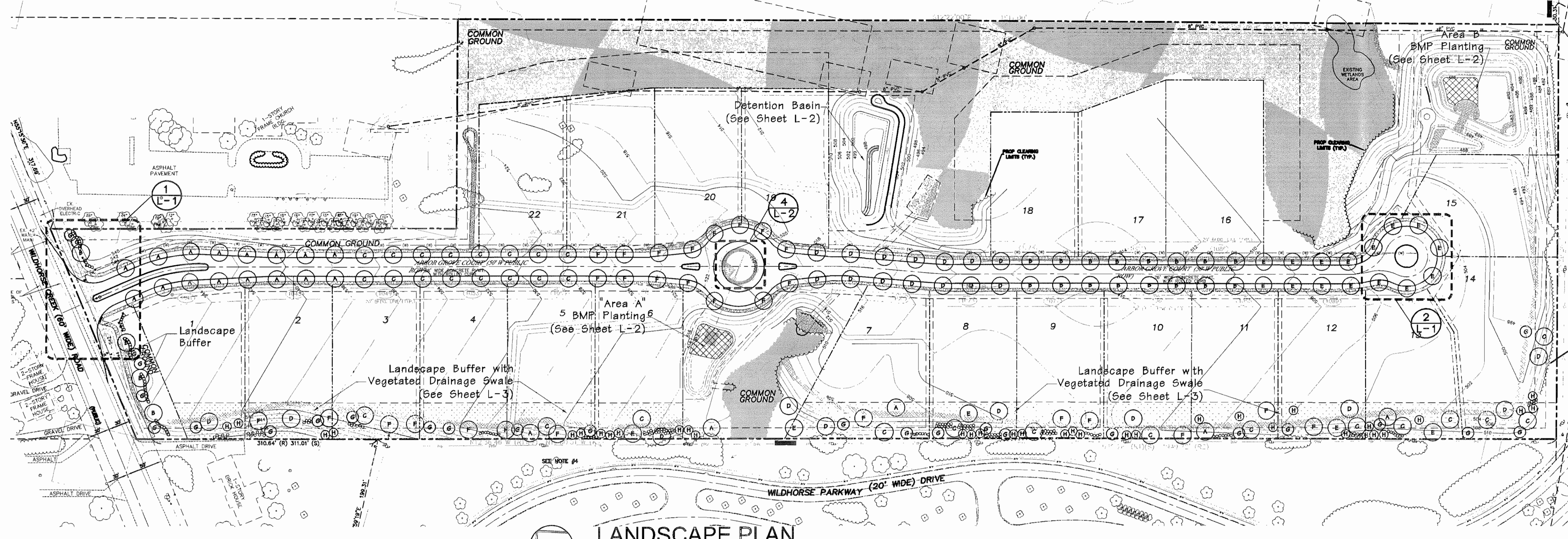
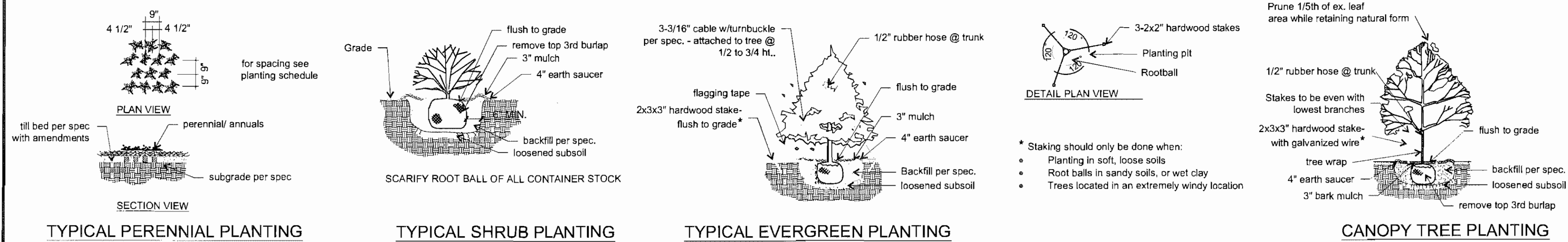
Job Number: 11-01-002
Date: NOV. 15, 2011
Designed: Sheet
Drawn: 4.2
Checked: SDP

MSD Base Map 18V
MSD P-0029375-00
Highway & Traffic #



Jerald Saunders - Landscape Architect
MO License # LA-007

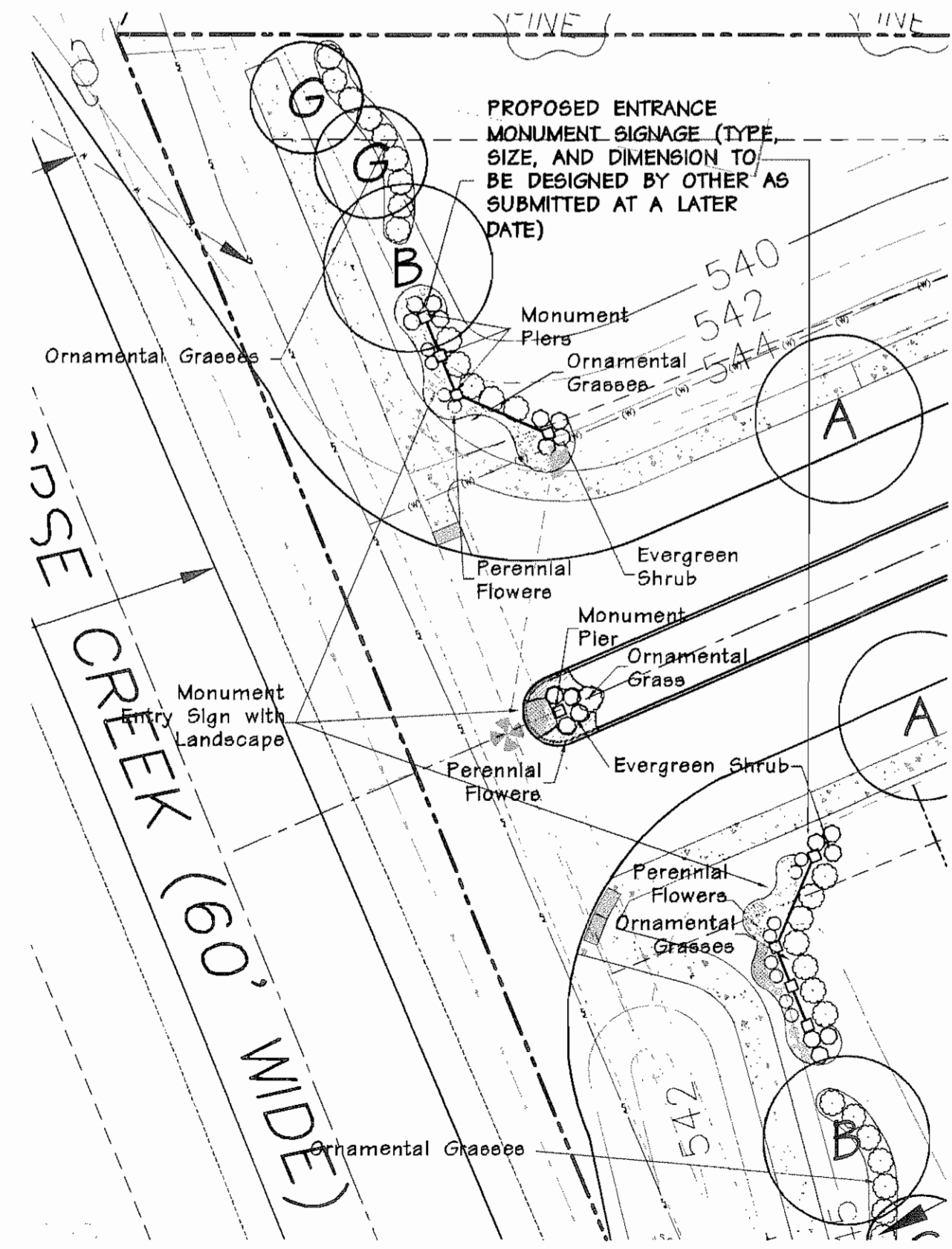
Consultants:



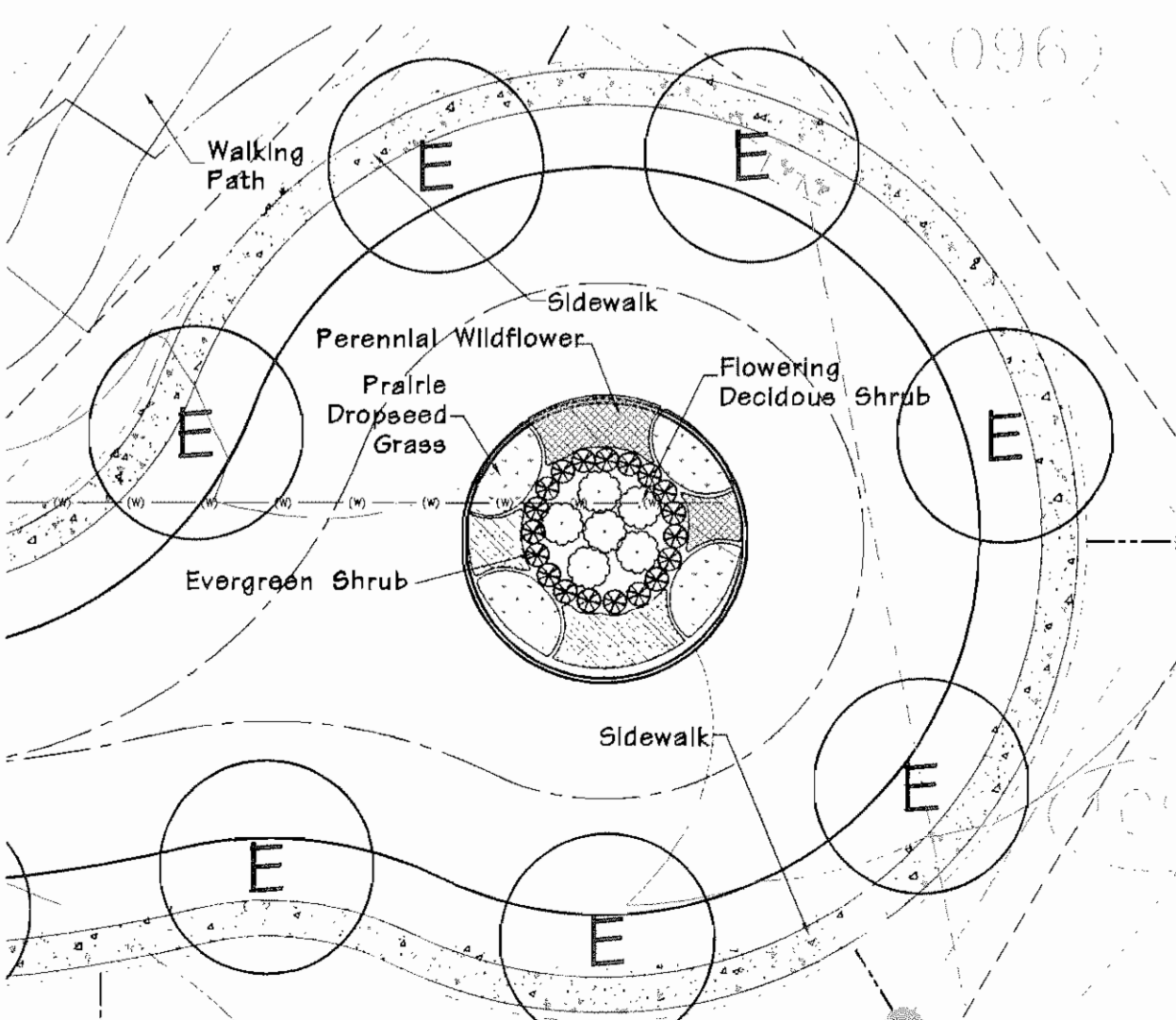
LANDSCAPE PLAN
SCALE 1" = 80'

PLANTING SCHEDULE								
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	FINISHES	GROWTH RATE	TYPE	
A	21	<i>Acer rubrum</i>	Red Maple	2.5"	B&B	Fast	Deciduous	
B	20	<i>Acer saccharum</i>	Sugar Maple	2.5"	B&B	Slow/Med.	Deciduous	
C	30	<i>Celtis occidentalis</i>	Hackberry	2.5"	B&B	Med./Fast	Deciduous	
D	28	<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	2.5"	B&B	Fast	Deciduous	
E	19	<i>Platanus x acerifolia</i>	London Planetree	2.5"	B&B	Fast	Deciduous	
F	28	<i>Quercus bicolor</i>	Swamp White Oak	2.5"	B&B	Med.	Deciduous	
G	22	<i>Amelanchier arborea</i>	Downy Serviceberry	2.5"	B&B	Slow/Med.	Ornamental	
H	34	<i>Picea glauca</i>	White Spruce	6'	B&B	Slow/Med.	Evergreen	
160	160	Hazelnut, Arrowwood, Buttonbush, Ninebark, Fragrant Sumac, Spicebush, Witch Hazel						
See Sheet L-3								
See Sheet L-3								

ALL DISTURBED AREAS TO BE SEEDED (SEE CIVIL), UNLESS OTHERWISE NOTED



1 ENTRANCE LANDSCAPE
L-1 SCALE: 1"=20'



2 CUL DE SAC MEDIAN LANDSCAPE
L-1 SCALE: 1"=20'

Landscape Plan Key		
QUANTITY	SYMBOL	TYPE
142	(A)	Canopy Tree 2.5"
22	(B)	Ornamental Tree 2.5"
34	(H)	Evergreen Tree 6'
160	(160)	Large Shrub 4-6'
	(Dry Grasses & Wildflowers)	See Sheet L-3
	(Drainage Swale Plantings)	See Sheet L-3
	(Water Quality Plantings)	See Sheet L-2

Revisions:		
Date	Description	No.
1/12/12	Resubmittal	

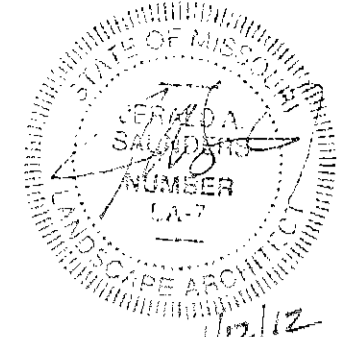
Drawn: JJ
Checked: RG

Ioomis Associates
landscapedesignplanners
707 Spirit of Park Drive, Suite 105
Chesterfield, Missouri 63005-0217
P: 636.510.8828 F: 636.510.0297
E: ioomis@ioomis-associates.com

Ioomis Associates, Inc.
Missouri State Certificate of Authority # LAC #0000191

Sheet Title: **Landscape Plan**
Sheet No: **L-1**
Date: 12/15/11
Job #: 769.021

Arbors at Wildhorse Creek
McBride and Son
Chesterfield, Missouri



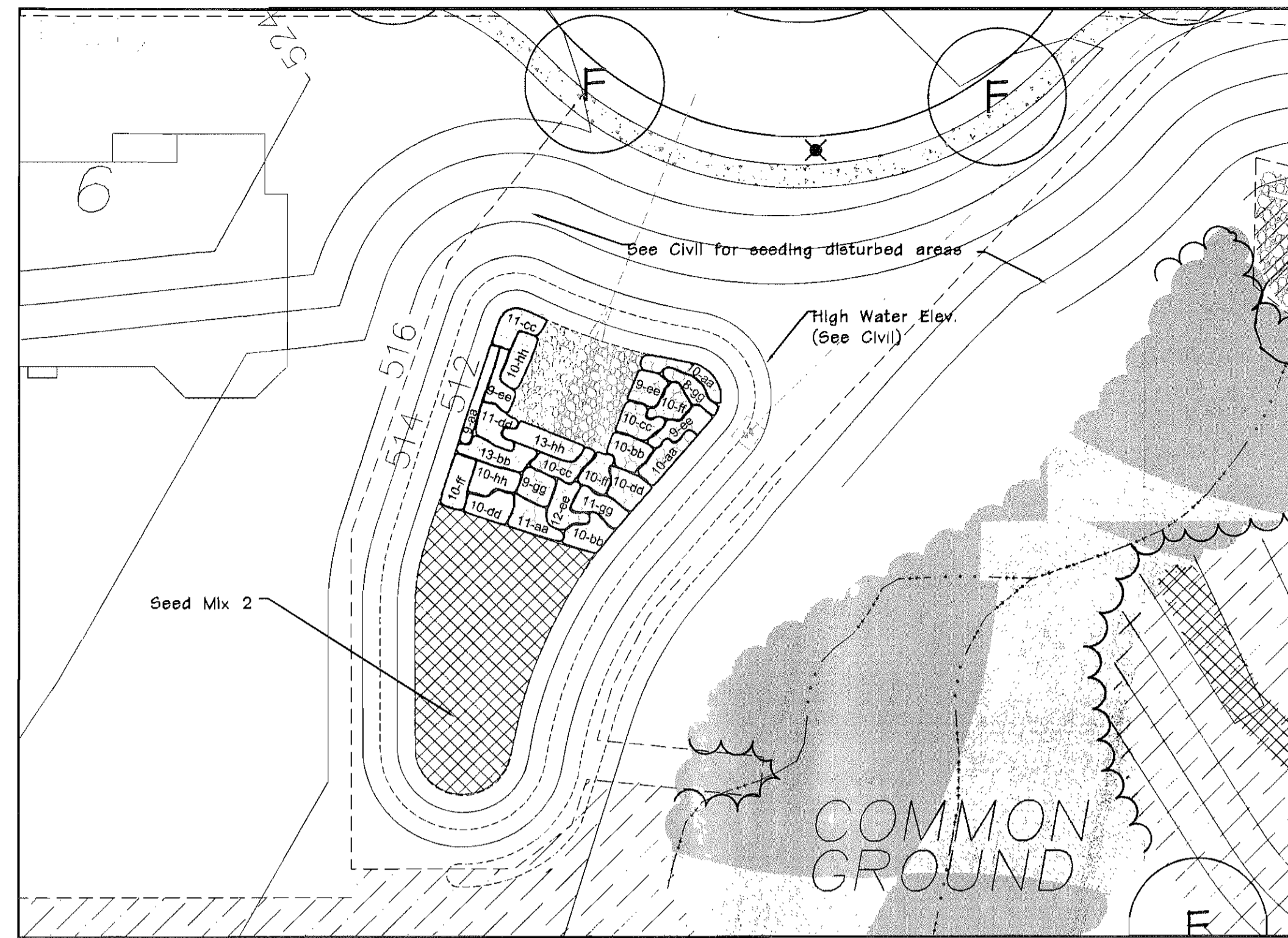
Jerald Saunders - Landscape Architect
MO License # LA-007

Consultants:

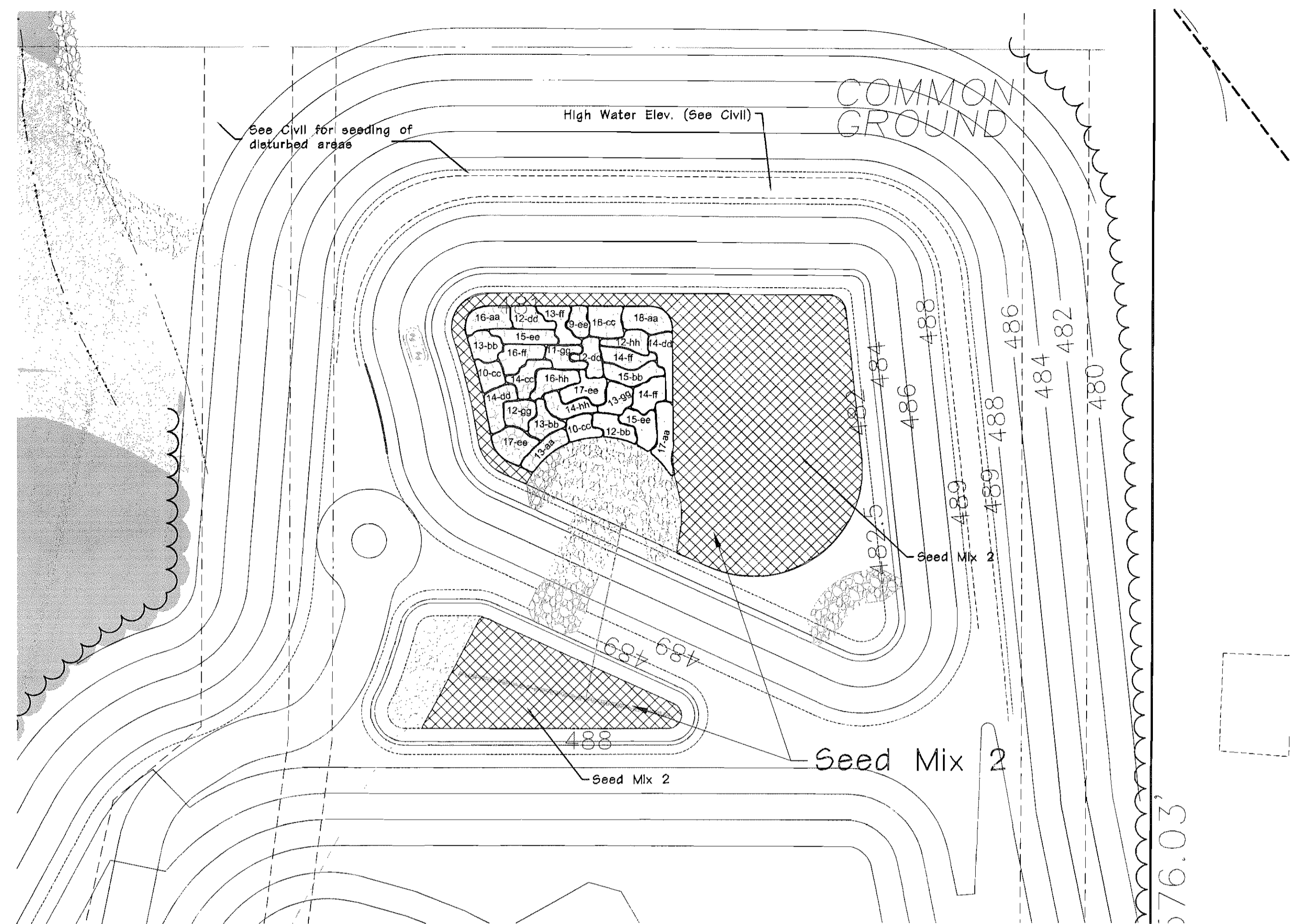
Arbors at Wildhorse Creek

McBride and Son

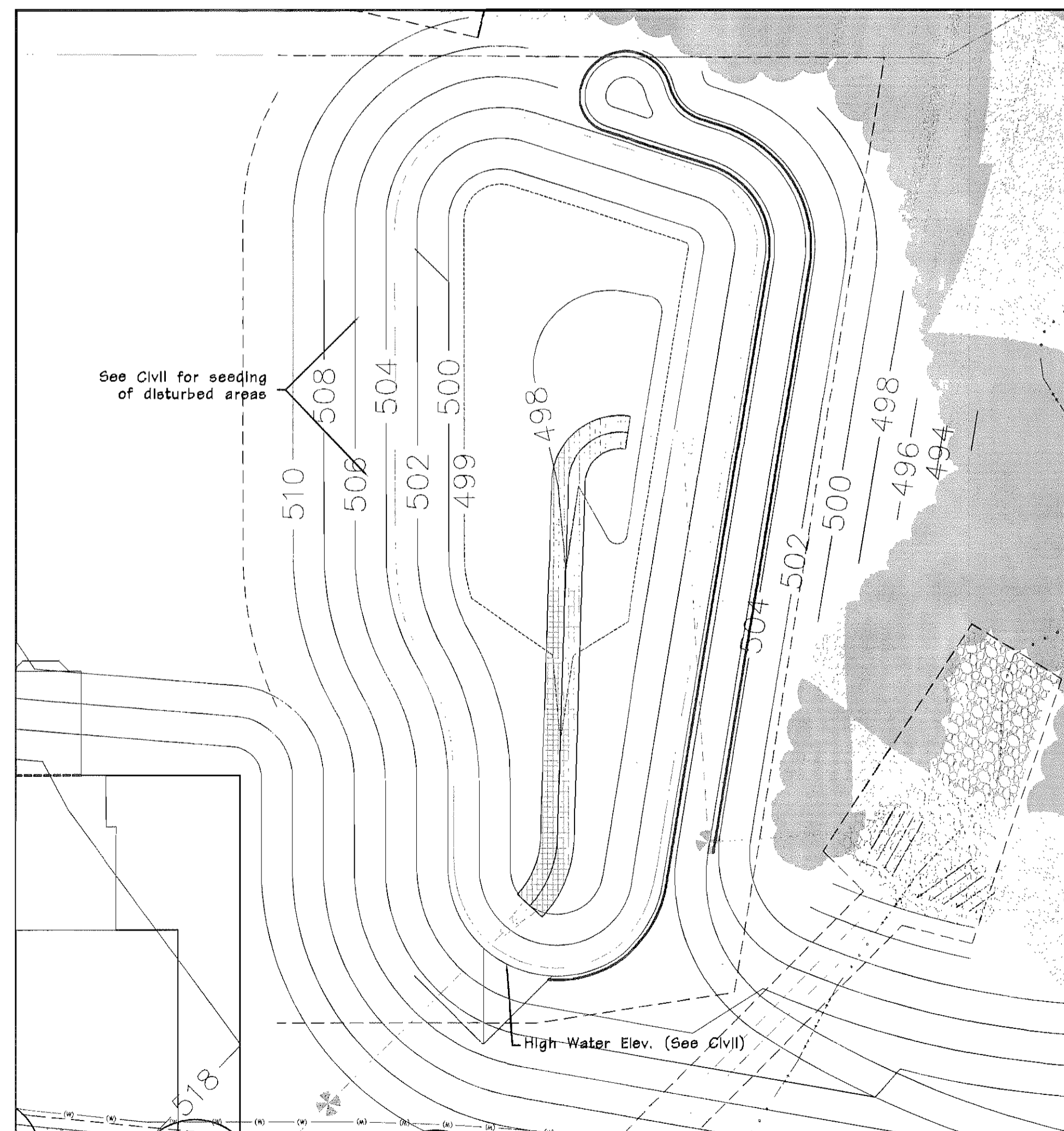
Chesterfield, Missouri



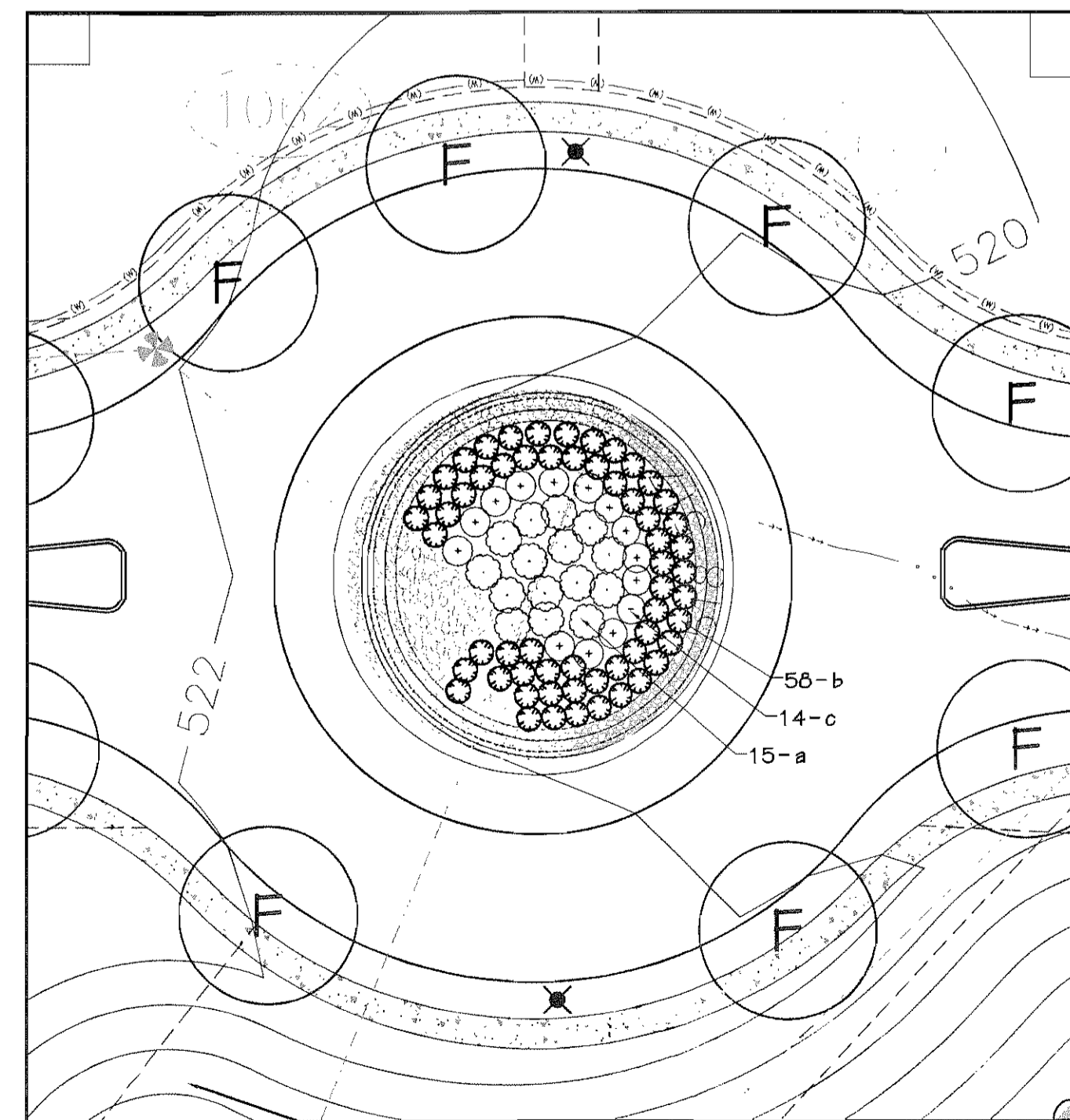
1 BIORETENTION AREA A PLANTINGS
SCALE: 1"=20'



2 BIORETENTION AREA B PLANTINGS
SCALE: 1"=20'



3 CENTRAL DETENTION BASIN
SCALE: 1"=20'



4 ROUNDABOUT
SCALE: 1"=20'

Bio Retention Area A

SYMBOL	QUANTITY	COMMON NAME	COMMON NAME	SIZE	DEPTH
aa	39	Amsonia illuetrica	Shining Bluestar	2x2x5" DCP	24" O.C.
bb	33	Aster novae-angliae	New England Aster	2x2x5" DCP	24" O.C.
cc	31	Bouteloua curtipendula	Sideoats Grama	2x2x5" DCP	24" O.C.
dd	31	Carex praegracillia	Tollway Sedge	2x2x5" DCP	24" O.C.
ee	39	Carex shortiana	Shorts Sedge	2x2x5" DCP	24" O.C.
ff	30	Hibiscus lasiocarpus	Rose Mallow	2x2x5" DCP	24" O.C.
gg	26	Iris virginica	Southern Blue Flag Iris	2x2x5" DCP	24" O.C.
hh	23	Schizachyrium scoparium	Little Bluestem	2x2x5" DCP	24" O.C.

Overseeded area with equal amounts of each species listed above of pure live seed at a rate of 4lbs per acre.

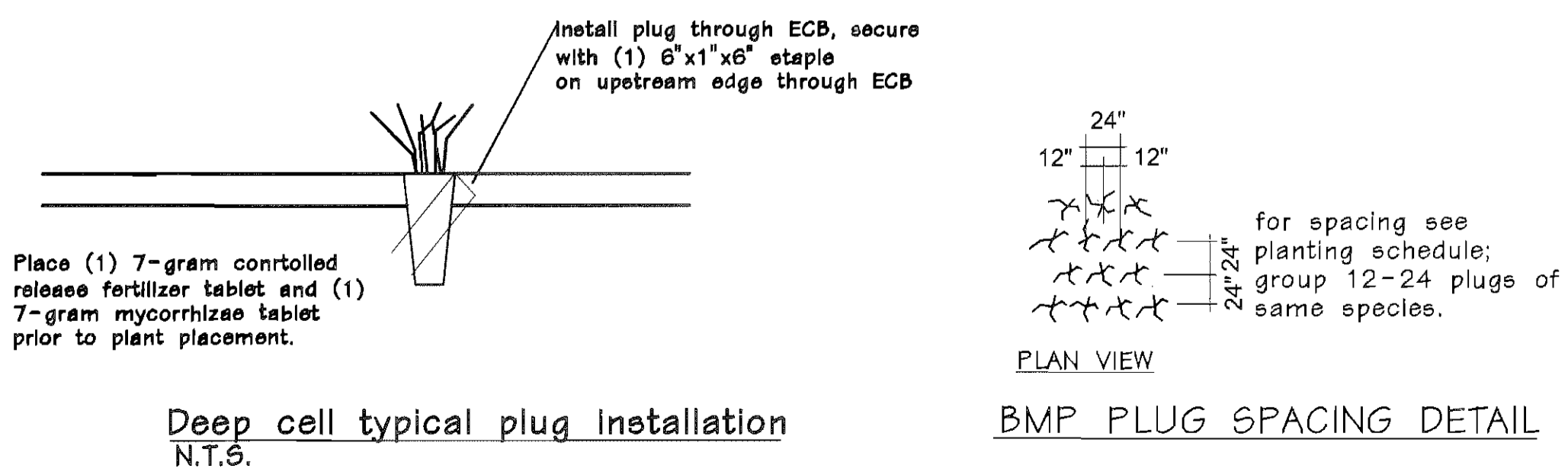
Bio Retention Area B

SYMBOL	QUANTITY	COMMON NAME	COMMON NAME	SIZE	DEPTH
aa	64	Amsonia illuetrica	Shining Bluestar	2x2x5" DCP	24" O.C.
bb	53	Aster novae-angliae	New England Aster	2x2x5" DCP	24" O.C.
cc	50	Bouteloua curtipendula	Sideoats Grama	2x2x5" DCP	24" O.C.
dd	52	Carex praegracillia	Tollway Sedge	2x2x5" DCP	24" O.C.
ee	64	Carex shortiana	Shorts Sedge	2x2x5" DCP	24" O.C.
ff	57	Hibiscus lasiocarpus	Rose Mallow	2x2x5" DCP	24" O.C.
gg	38	Iris virginica	Southern Blue Flag Iris	2x2x5" DCP	24" O.C.
hh	42	Schizachyrium scoparium	Little Bluestem	2x2x5" DCP	24" O.C.

Overseeded area with equal amounts of each species listed above of pure live seed at a rate of 4lbs per acre.

Roundabout

SYMBOL	QUANTITY	COMMON NAME	COMMON NAME	SIZE
a	15	Cornus sericea 'Cardinal'	Redtwigged Dogwood	36"
b	55	Carex praegracillia	Tollway Sedge	3 Gal.
c	14	Calamagrostis scutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 Gal.



NOTE:
AT OWNER OPTION
PROVIDE SEED ONLY AT
8LB/ ACRE. IN LIEU OF
DEEP CELL PLUGS.

Revisions:

Date	Description	No.
1/12/12	Resubmittal	

Drawn: JJ
Checked: RS

Icomis Associates

landscape architects/planners
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Icomis Associates Inc.
Missouri State Certificate of Authority #: LAC #0000191

Sheet Title: BMP Plan
Sheet No: L-2
Date: 10/25/11
Job #: 769.021