



II.D

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760
Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

January 11, 2008

Architectural Review Board
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

Re: Spirit Airpark (Spirit Restaurant): Site Development Section Plan, Landscape Plan, Architectural Elevations, Lighting Plan, and Architect's Statement of Design for 2.75 acre tract of land located in an "M-3" Planned Industrial District on the south side of Wings of Hope Boulevard, and 610 feet west of the intersection of Spirit of St. Louis Boulevard and Wings of Hope Boulevard.

Board Members:

Adams Architectural Associates, has submitted, on behalf of the Forest Park Group, a Site Development Section Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for the above referenced project. The Department of Planning has reviewed this request and submits the following report.

Submittal Information

The request is for a new 11,380 square foot restaurant located in the Spirit Airpark Development. Exterior materials include curtain wall glazing and metal span panels. Roof materials will be a flat membrane. Please see the attached checklist to review the project's compliance with the City of Chesterfield's Design Guidelines.

Departmental Input

The submittal was reviewed for compliance with the City of Chesterfield's Design Guidelines, City of Chesterfield governing ordinance 1430, the City of Chesterfield Tree Manual, and the City of Chesterfield Lighting ordinance. Signage is not reviewed during this part of the process and will be reviewed by the Department of Planning.

Actions Requested

The Department of Planning requests action by the Architectural Review Board on the information presented.

Respectfully submitted,



Shawn P. Seymour
Project Planner

Respectfully submitted,



Mara M. Perry, AICP
Senior Planner of Site Plan Review

Attachments

1. ARB Design Review Checklist
2. Architectural Review Application and Packet Submittal

CITY OF CHESTERFIELD
Design Guidelines: Review Checklist

Project Name: Spirit Restaurant (Spirit Airpark)
Date of Review: 01-08-2008

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER ONE: Site Layout			
A. Physical Features	X		
B. Vegetation	X		
C. Site Relationships			Thought should be given to relocating the trash enclosure to the east side of the building, where the service doors and loading area are located. Trash enclosure is located on same side of building as main entrance/exit and the closest entrance/exit to the trash enclosure is the main (Ch.1 C.3.).
D. Pedestrian & Vehicular Circulation			Additional sidewalks/pathways or the removal of the outlying parking areas should be considered. Pedestrians are required to navigate through the parking lot, in some instances in excess of 250ft. before they reach a side walk (Ch.1 D.3.). Architectural Guidelines state that visual impacts and the presence of parking shall be minimized. The proposed site provides 188 parking stalls, which exceeds the requirement on site. Also, of the 188 parking stalls, 50 are located along the property line fronting Wings of Hope Boulevard (Ch.1 D.8.).

E. Pedestrian Orientation			Consideration should be given to the walkability of the site and the parking lot scale in relation to the size of the building (Ch.1 E.1.).
CHAPTER TWO: Building all Structures			
I. All Structures:			
A. General Architectural Guidelines	X		
Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
B. Scale	X		
C. Design	X		
D. Relation to Adjacent Development	X		
E. Material/Colors	X		
II. Residential Structures:			
A. General Residential Architecture	NA		
B. Multiple-Family Architecture	NA		
III. Non-residential Structures:			
A. General	X		
B. Building Equipment Service	X		

C. Fast Food Restaurant Guidelines	NA	
D. Auto Service Station Guidelines	NA	
E. Shopping Center Guidelines	NA	
F. Chesterfield Valley Guidelines	X	

Guideline Description	Addressed as Written	Addressed with Modification (1)	Comments and Reference (2)
CHAPTER THREE: Landscape Design	X		
CHAPTER FOUR: Miscellaneous			
A. Signage			Signage is not being reviewed at this time.
B. Lighting	X		
C. Utilities	X		
D. Stormwater Drainage	X		
E. Energy Conservation	X		
F. Screening (Fences & Walls)			Revise trash enclosure screening materials to be consistent with main building materials (Ch.4 F.2.).



ARCHITECTURAL REVIEW BOARD
Project Statistics Application

Project Title: SPRINT RESTAURANT

Developer: FPG/SYCAMORE Architect: ADAMS ARCH. Engineer: PICKETT RAY & SILVER

Location: 18360 WINGS OF HOPE BLVD.

PROJECT STATISTICS:

Size of site (in acres): 2.8 Total Square Footage: 12,000 Building Height: 36' MAX

Proposed Usage: RESTAURANT / TAVERN

Exterior Building Materials: CURTAIN WALL GLAZING / METAL SPAN PANEL

Construction Type: COMMERCIAL

Roof Material & Design: 2 1/2 - 3" RIGID INSULATION WITH .60 TPO MEMBRANE

Screening Material & Design: METAL SPAN PANEL ROOF PARAPET

Landscape Guidelines: Commercial Institutional Valley Residential

Building Setbacks: 92.33' Front 188.5' Side 808.17' Rear 17.31' Max Bldg Ht. 36' Min. Lot Req.

Description of art or architecturally significant features (if any): N/A

ADDITIONAL PROJECT INFORMATION:



ADAMS ARCHITECTURAL ASSOCIATES

P.O. Box 230
Chesterfield, MO 63006-0230
(636) 537-9333 • Fax (636) 537-1267

Re: Architects Statement

Dear Members of the Architect Review Board,

The following is the Architects Statements for the Forest Park Group Spirit Hangars. One hangar and two offices / hangar buildings.

The Site

Physical Features:

The project site is within the St. Louis Airpark and contains adjusted lot #2 totaling 2.75 acres. The lot will contain a new 12,000 sq. ft. restaurant and parking lot. The site is fairly flat as most sites in the Chesterfield Valley area. The site will be bordered to the west by the future spirit hangars building currently under construction and to the south by the airport.

Vegetation:

The current site is in building pad form and is currently devoid of any vegetation. The building will introduce landscaping to control site lines to the building. The tenant entries will incorporate planting in order to soften the transition between parking and building.

Site relationship of Design:

The buildings footprint is arranged to allow for windows on three elevations. The building reflects the same style as the current spirit hangars and is meant to mirror their design. The building to the west will be 10,210 sq. ft. and have one main entry. The building is sited to create a "campus like feeling" with the spirit hangar about one curb cut on the northeast property line. The site is bordered to the north, east, and west by a natural drainage swale and the topography is such to support this function.

Pedestrian and Vehicular Circulation:

The pedestrian circulation on the site is primarily limited, to travel from their vehicles to the main entrance. The automobile circulation is via a curb cut off. Aviation Museum Blvd. is the only curb cut and the parking lot shall connect with the spirit hangar parking lot will be shared between all buildings. The parking, loading zones are located to independently support each building as a stand alone. There is one trash enclosure for the complex located at the northwest corner of the site.

Pedestrian Orientation:

The site relates to human scale and context with the buildings around by implementing similar scale, massing, and materials. The location of the building entry is positioned for clarity of circulation by the visiting patrons.

Chapter Two / Buildings**General Architectural Guidelines:**

The building design is meant to complement the three buildings of the spirit hangar project currently under construction. The orientation of the building is meant to maximize site utilization. Each individual building could however, stand alone and form a complete design. The entire complex will work together to form a modern streetscape.

Scale:

This design accommodates a restaurant and lounge. The vertical metal panels serve to lift the eye skyward. At the building entrances to the office, side of the building horizontal banding in the entry towers and horizontal bands in the glazing at the office areas, serve to give the building a human scale.

Design:

The design of this building borrows elements of the existing buildings in the area, while trying to set precedence for the future building in quality and scale. The use of the building is a restaurant. The building parapet wall color will conceal the roof equipment. The trash enclosure is located away from the predominant street view.

Materials/Colors:

The material on the building include 2 colors of metal steel panels, tinted gray glass in bronze aluminum frames and a coping color to complement the panels. The change of materials on the elevations emphasizes the aviation theme of the buildings.

Landscape Design:

The landscaping away from the building is located to screen utilities. Concrete curbs will be used at all the pavement/ grass or planting intersections and will provide the protection for all landscaping. The landscape design will promote each individual building with its own identity while respecting the campus homogeneity. Lawn irrigation will be used to keep all the vegetation healthy during the dry months.

Non Residential Architecture

General:

The sides and rear of the building are similar in design as the front. The wall panels and window details create a complete integrated design. The strong corner tower element softens the building and helps to define building entry, strong vertical banding breaks up the elevation and will cast shadow patterns on the facade.

The hangar building on the end is intended to be purely functional and complementary to the other buildings in color and scale.

Building Equipment and Service

The trash enclosure and the loading space are positioned away from Aviation Museum Blvd. The proposed transformer location will be away from the building entry points and landscaped to screen it from the road.

Landscape Design

The plant material is located to accent the entries and to soften the edge between the parking and building. Trees on the north property create a separation between the neighboring properties. Concrete curbs will be installed at all the pavement/grass or planting intersections and will provide the protection for all landscaping. Lawn irrigation will be used to keep all the vegetation healthy during the dry months.

Miscellaneous**Signage**

Signage for the project has not been determined. Once the exact type of style is determined it will go through the proper permitting process.

Lighting

The parking areas will be lighted by standard light poles and shoe box type fixtures similar to those used in the area. The entry will incorporate some recessed can lighting to accent the entrance portal.

Utilities

All on site utilities will be underground. The transformer will be located to avoid visibility as much as possible.

Storm water Drainage

All parking lot water will drain to the swales located around the site. The roof storm, water will be collected in internal roof drain and downspouts and piped underground to discharge into drainage swales at the property perimeter.

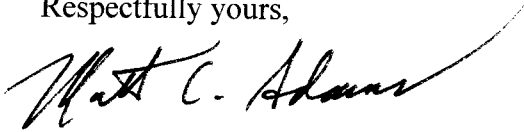
Energy Conservation

The glass proposed for the project is insulated and tinted to not only contribute to the aesthetic but also to the building efficiencies.

Screening

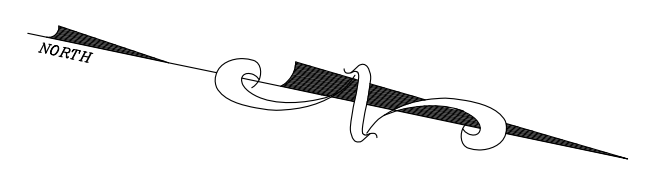
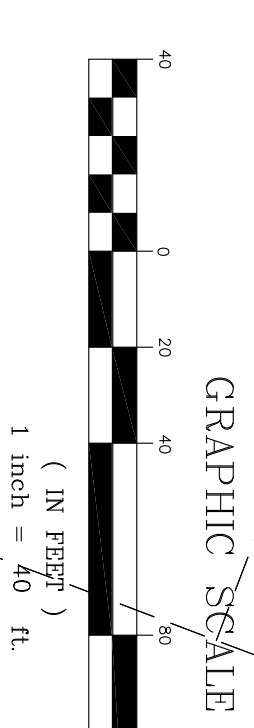
The trash enclosure will be of masonry construction to hide the dumpster inside and a wooden latching gate to keep the debris inside.

Respectfully yours,

A handwritten signature in cursive script that reads "Matt C. Adams". The signature is written in black ink and is positioned above the printed name.

Matt C. Adams
Adams Architectural Associates

PART OF A TRACT OF LAND IN ST. LOUIS AIRPARK BEING A PART OF A PLAT RECORDED IN BOOK 107, PAGES 42 AND 43 OF THE ST. LOUIS COUNTY RECORDS AND LOCATED IN U.S. SURVEYS 102 AND 189, TOWNSHIP 45 NORTH, RANGE 3 EAST.

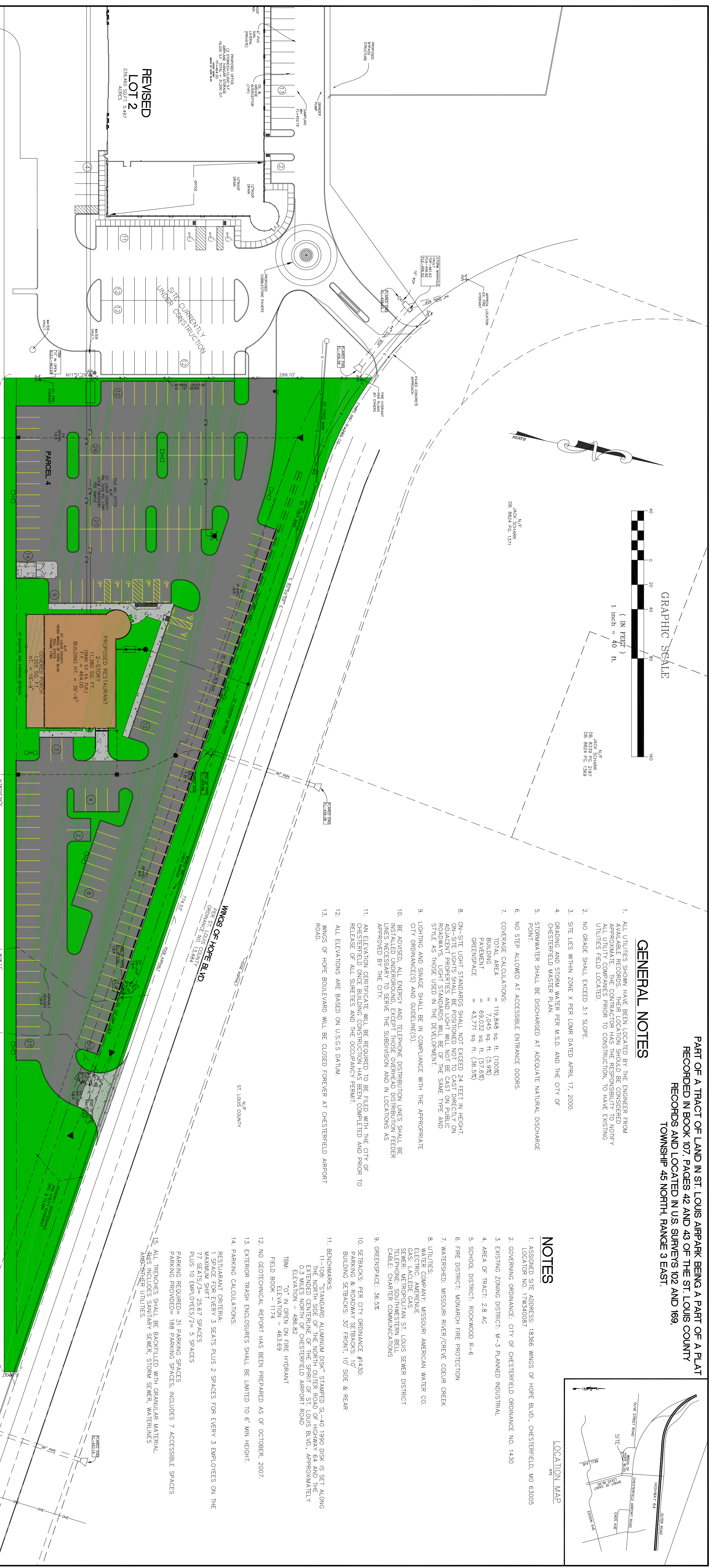
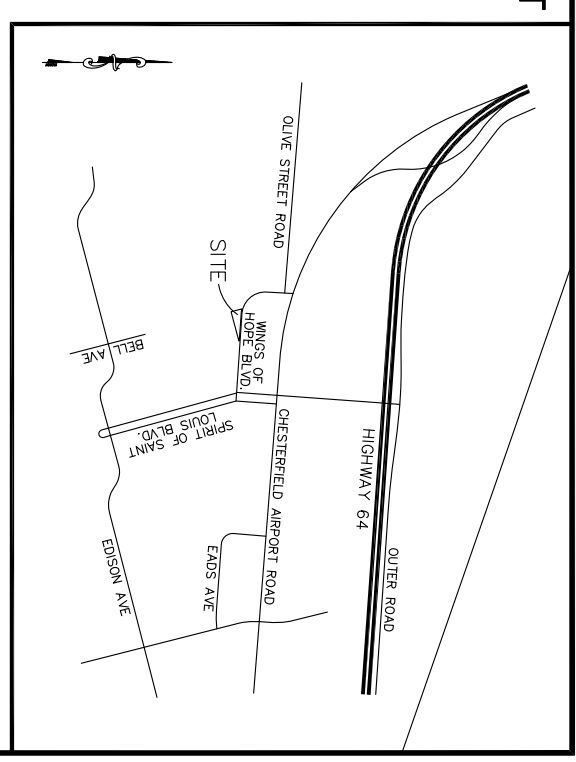


GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEERS FROM APPROXIMATE RECORDS. CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- SITE LIES WITHIN ZONE X PER LOWR DATED APRIL 17, 2000.
- GRADING AND STORM WATER PER M.S.D. AND THE CITY OF CHESTERFIELD MASTER PLAN.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT.
- NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- COVERAGE CALCULATIONS:
TOTAL AREA = 119,848 sq. ft. (100%)
BUILDING = 2,045 sq. ft. (1.7%)
PARKING = 117,803 sq. ft. (98.3%)
GREENSPACE = 43,771 sq. ft. (36.5%)
- ON-SITE LIGHT STANDARDS SHALL NOT EXCEED 24 FEET IN HEIGHT. ON-SITE LIGHT STANDARDS SHALL BE INSTALLED IN ACCORDANCE WITH ADJACENT PROPERTIES AND LIGHT WILL NOT BE CAST ON PUBLIC ROADWAYS. LIGHT STANDARDS WILL BE OF THE SAME TYPE AND STYLE AS THOSE USED IN THE DEVELOPMENT.
- LIGHTING AND SIGNAGE SHALL BE IN COMPLIANCE WITH THE APPROPRIATE CITY ORDINANCE(S) AND GUIDELINE(S).
- BE ADVISED, ALL ENERGY AND TELEPHONE DISTRIBUTION LINES SHALL BE INSTALLED UNDERGROUND, EXCEPT THOSE OVERHEAD DISTRIBUTION FEEDER LINES NECESSARY TO SERVE THE SUBDIVISION AND IN LOCATIONS AS APPROVED BY THE CITY.
- AN ELEVATION CERTIFICATE WILL BE REQUIRED TO BE FILED WITH THE CITY OF CHESTERFIELD ONCE BUILDING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO RELEASE OF ALL PERMITS AND THE OCCUPANCY PERMITS.
- ALL ELEVATIONS ARE BASED ON U.S.G.S DATUM.
- WINGS OF HOPE BOULEVARD WILL BE CLOSED FOREVER AT CHESTERFIELD AIRPORT ROAD.

NOTES

- ASSIGNED SITE ADDRESS: 18360 WINGS OF HOPE BLD., CHESTERFIELD, MO 63005
- GOVERNING ORDINANCE: CITY OF CHESTERFIELD ORDINANCE NO. 1430
- EXISTING ZONING DISTRICT: M-3 PLANNED INDUSTRIAL
- AREA OF TRACT: 2.8 AC
- SCHOOL DISTRICT: ROCKWOOD R-6
- FIRE DISTRICT: MONARCH FIRE PROTECTION
- WATERSHED: MISSOURI RIVER/CREVE COEUR CREEK
- UTILITIES:
WATER COMPANY: MISSOURI AMERICAN WATER CO.
SEWER: METROPOLITAN ST. LOUIS SEWER DISTRICT
GAS: LAQUELLE GAS
CABLE: CHARTER COMMUNICATIONS
- GREENSPACE: 36.5%
- SETBACKS: PER CITY ORDINANCE #1430.
BUILDING SETBACKS: 10'
PARKING SETBACKS: 30' FRONT, 10' SIDE & REAR
- BENCHMARKS:
11-108 "STANDARD ALUMINUM DISK" STAMPED 8-10-1980 DISK IS SET ALONG EXTENDED CENTERLINE OF THE SPIRIT OF ST. LOUIS BLD., APPROXIMATELY 0.3 MILES NORTH OF CHESTERFIELD AIRPORT ROAD
TBM: ELEVATION 453.69
FIELD BOOK - 1174
- NO GEOTECHNICAL REPORT HAS BEEN PREPARED AS OF OCTOBER, 2007.
- EXTERIOR TRASH ENCLOSURES SHALL BE LIMITED TO 6' MIN HEIGHT.
- PARKING CALCULATIONS:
RESTAURANT CRITERIA:
RESTAURANT: 3 SEATS PLUS 2 SPACES FOR EVERY 3 EMPLOYEES ON THE MAXIMUM SHIFT
77 SEATS/3 = 25.67 SPACES
PLUS 10 EMPLOYEES/2 = 5 SPACES
PARKING REQUIRED = 31 PARKING SPACES
PARKING PROVIDED = 188 PARKING SPACES, INCLUDES 7 ACCESSIBLE SPACES
- ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL. TRENCHES SHALL BE 18" DEEP, 18" WIDE, 18" SPACING, STORM SEWERS, WATERLINES AND OTHER UTILITIES.



DESCRIPTION
2.75-ACRE TRACT

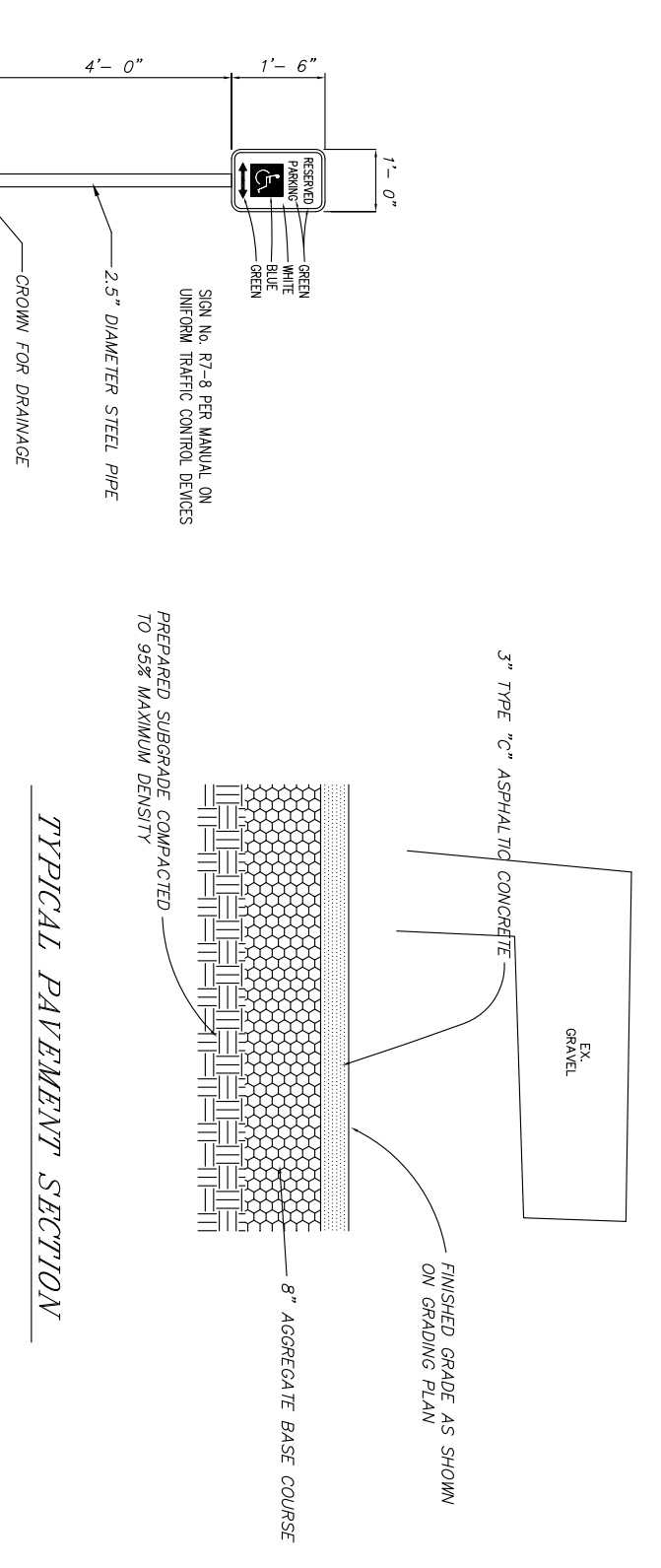
07088 SAFF 005/1
11/8/07EJS

A tract of land being part of U.S. Survey 102, Township 45 North, Range 3 East, St. Louis County, Missouri and being more particularly described as follows:

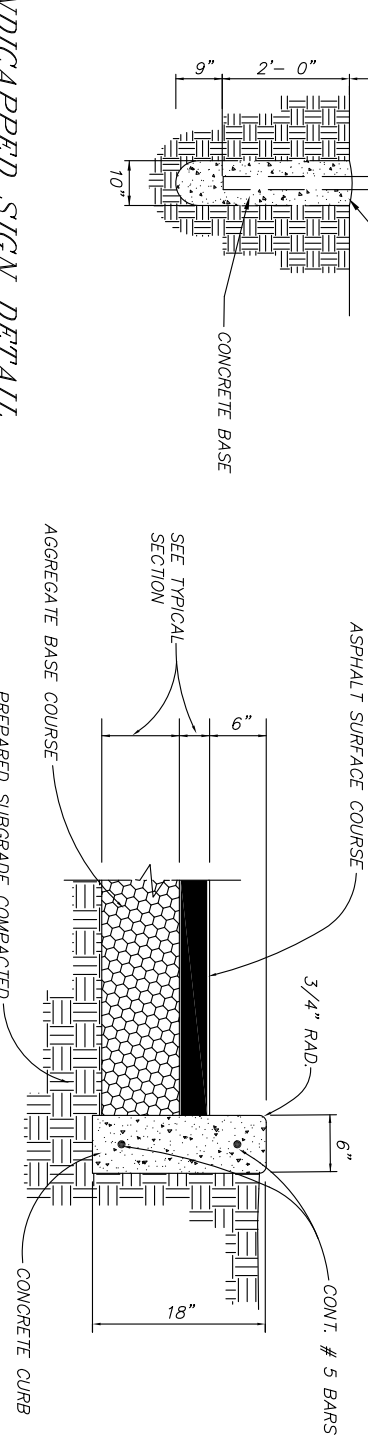
COMMENCING at a point being the intersection of the northern line of property now or formerly of Chesterfield Memorial and Building Associated Incorporated as recorded in Book 11034, Page 386 of the St. Louis County, Missouri Records and the western right-of-way line of Spirit of St. Louis Boulevard (160' wide); thence leaving said intersection and along said right-of-way North 07°06'18" West a distance of 72.98 feet to a point; thence North 54°14'44" West a distance of 22.98 feet to a point; said point being in the southern right-of-way of Wings of Hope Boulevard (70' wide); thence continuing along said right-of-way North 82°59'59" West a distance of 371.23 feet to the POINT OF BEGINNING; thence leaving said right-of-way South 11°50'23" East a distance of 10.00 feet to a point; thence South 78°09'35" West a distance of 808.17 feet to a point; thence North 11°51'29" West a distance of 299.10 feet to a point; said point being in the south right-of-way of the aforementioned Wings of Hope Boulevard (70' wide); thence along said right-of-way along a curve to the left having a radius of 285.00 feet, an arc length of 85.05 feet, a chord of which bears South 74°27'04" East a chord distance of 84.73 feet to a point; thence South 82°59'59" East a distance of 774.53 feet to the POINT OF BEGINNING and containing 119,848 square feet and/or 2.75 acres more or less.

PERTINENT DATA

EXISTING ZONING	= M-3
LOCATOR No.s	= 17M340087
SEWER DISTRICT	= METROPOLITAN ST. LOUIS SEWER DISTRICT
FIRE DISTRICT	= MONARCH FIRE PROTECTION
WATERSHED	= MISSOURI RIVER/CREVE COEUR CREEK
SCHOOL DISTRICT	= MISSOURI-AMERICAN WATER COMPANY
WATER SERVICE	= LAQUELLE GAS
GAS SERVICE	= AmerenUE ELECTRIC
ELECTRIC SERVICE	= SOUTHWESTERN BELL TELEPHONE
TELEPHONE SERVICE	= 2918900120 H (DATE AUG. 2, 1995) ZONE X
FIRM	= 18360 WINGS OF HOPE BLD.
SITE ADDRESS	= CHESTERFIELD, MO 63005



HANDICAPPED SIGN DETAIL



NOTE: Underground utilities and structures have been located by the engineer from approximate records. The contractor must be considered responsible for the location and depth of all utilities and structures to be located prior to construction.

NOT APPROVED FOR CONSTRUCTION

PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

333 Mid Rivers Mall Drive
St. Peters, MO 63378
Phone (636) 397-1211
Fax (636) 397-1104

Spirit Restaurant
COLOR RENDERING
Chesterfield, Missouri

Prepared For:
Forest Park Group

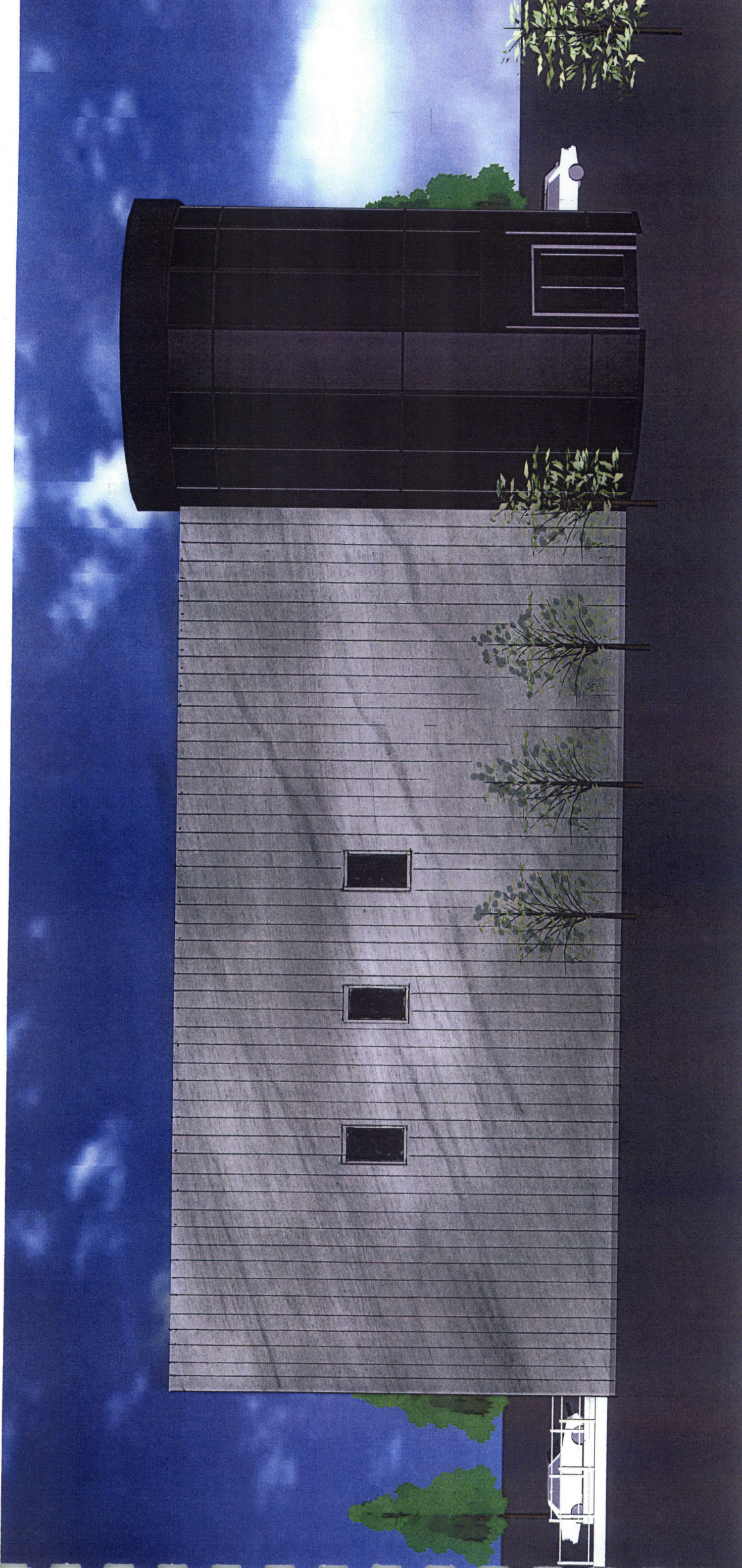
Mr. Marcus Tao
Forest Park Group
735 Goddard Avenue
Chesterfield, Missouri 63005

REVISIONS	NO.	DATE

ENGINEERS AUTHENTICATION
The responsibility for professional engineering is hereby limited to the set of plans outchecked by the seal, signature, and stamp. Responsibility is disclaimed for all other engineering plans involved in this project. This disclaimer applies to all revisions other than those indicated by the seal, signature, and stamp.
PICKETT, RAY & SILVER, INC.

DRAWN	DATE
B.J.S.TOVESZ	01-07-08
CHECKED	DATE
D.L.STOVSZ	01-07-08
PROJECT #	FIELD
07088 SAFF 000	1174
TASK #	BOOK
1	1174

39685



A NEW RESTAURANT DEVELOPMENT FOR
FOREST PARK GROUP
18366 AVIATION MUSEUM PKWY.
CHESTERFIELD, MISSOURI 63005

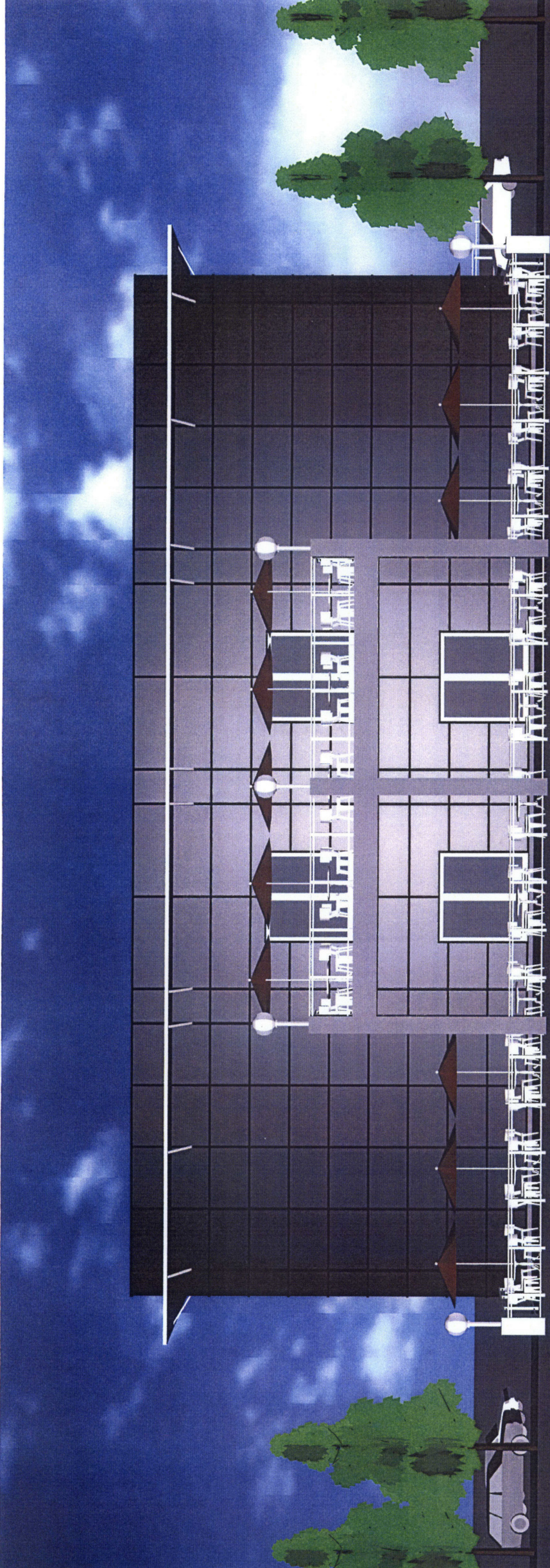
NORTH ELEVATION
NO SCALE JANUARY 07, 2008

ADAMS ARCHITECTURAL ASSOCIATES - P.C.
MATT C. ADAMS - ARCHITECT AIA / NCARB COPYRIGHT ©
ARCHITECTURAL SERVICES
DESIGN / BUILD
COMMERCIAL
CHURCHES
RESIDENTIAL



P.O. BOX 230
CHESTERFIELD, MO 63306-0230
(636)537-9333
(636)537-1267 -FAX

39686



A NEW RESTAURANT DEVELOPMENT FOR

FOREST PARK GROUP
18366 AVIATION MUSEUM PKWY.
CHESTERFIELD, MISSOURI 63005

SOUTH ELEVATION
NO SCALE JANUARY 07, 2008

ADAMS ARCHITECTURAL ASSOCIATES - P.C.

MATT C. ADAMS - ARCHITECT AIA / NCARB COPYRIGHT ©

ARCHITECTURAL SERVICES

DESIGN / BUILD

COMMERCIAL

CHURCHES

RESIDENTIAL



P.O. BOX 230
CHESTERFIELD, MO. 63306-0230
(636)537-9333
(636)537-1267 -FAX

39687



A NEW RESTAURANT DEVELOPMENT FOR
FOREST PARK GROUP
18366 AVIATION MUSEUM PKWY.
CHESTERFIELD, MISSOURI 63005

EAST ELEVATION
NO SCALE JANUARY 07, 2008

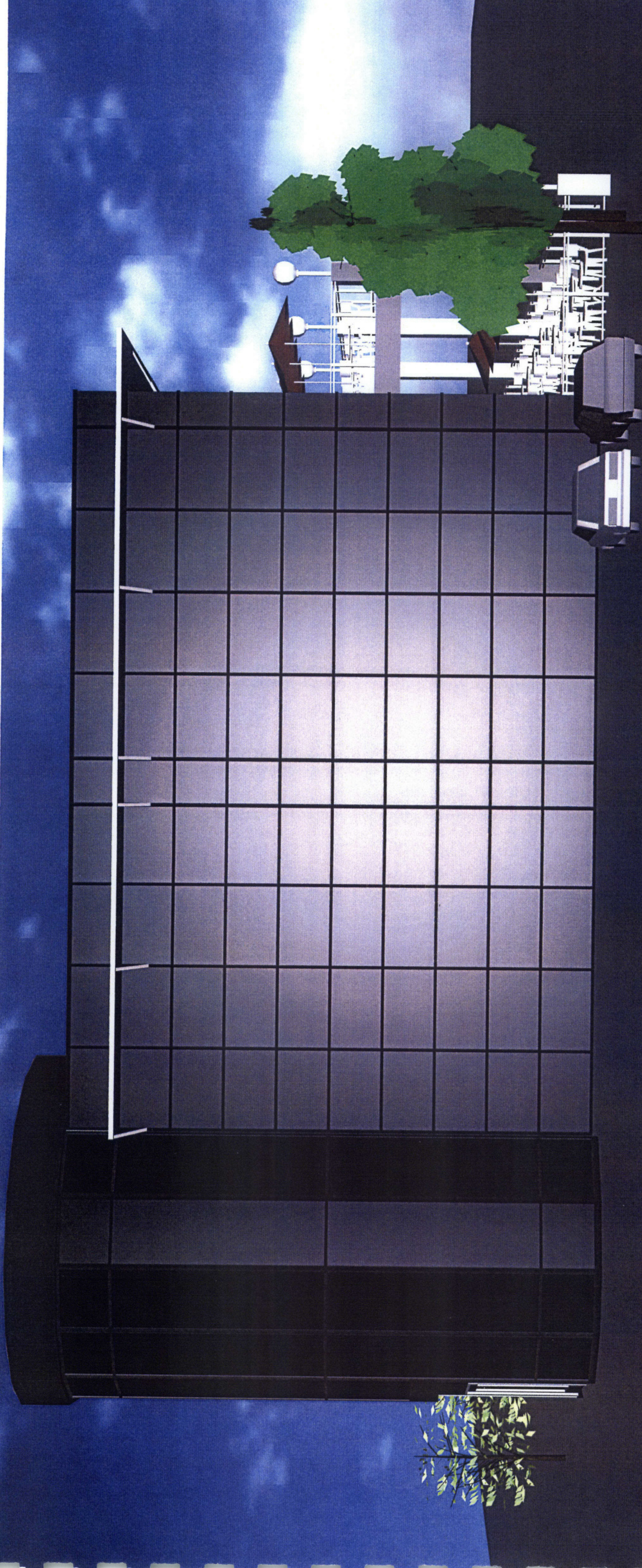
ADAMS ARCHITECTURAL ASSOCIATES - P.C.
MATT C. ADAMS - ARCHITECT AIA / NCARB COPYRIGHT ©

ARCHITECTURAL SERVICES
DESIGN / BUILD
COMMERCIAL
CHURCHES
RESIDENTIAL



P.O. BOX 230
CHESTERFIELD, MO 63306-0230
(636)537-9333
(636)537-1267 -FAX

39688



A NEW RESTAURANT DEVELOPMENT FOR
FOREST PARK GROUP
18366 AVIATION MUSEUM PKWY.
CHESTERFIELD, MISSOURI 63005

WEST ELEVATION
NO SCALE JANUARY 07, 2008

ADAMS ARCHITECTURAL ASSOCIATES - P.C.

MATT C. ADAMS - ARCHITECT AIA / NCARB COPYRIGHT ©

ARCHITECTURAL SERVICES

DESIGN / BUILD

COMMERCIAL

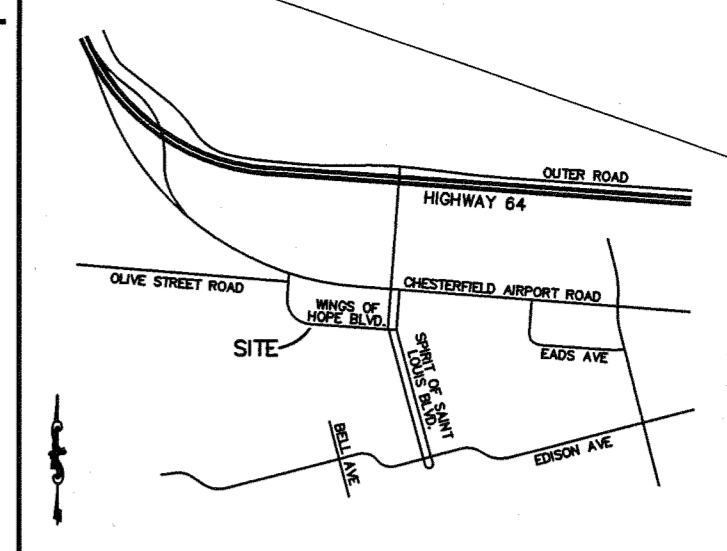
CHURCHES

RESIDENTIAL



P.O. BOX 230
CHESTERFIELD, MO 63306-0230
(636)537-9333
(636)537-1267 -FAX

PART OF A TRACT OF LAND IN ST. LOUIS AIRPARK BEING A PART OF A PLAT RECORDED IN BOOK 107, PAGES 42 AND 43 OF THE ST. LOUIS COUNTY RECORDS AND LOCATED IN U.S. SURVEYS 102 AND 169, TOWNSHIP 45 NORTH, RANGE 3 EAST.

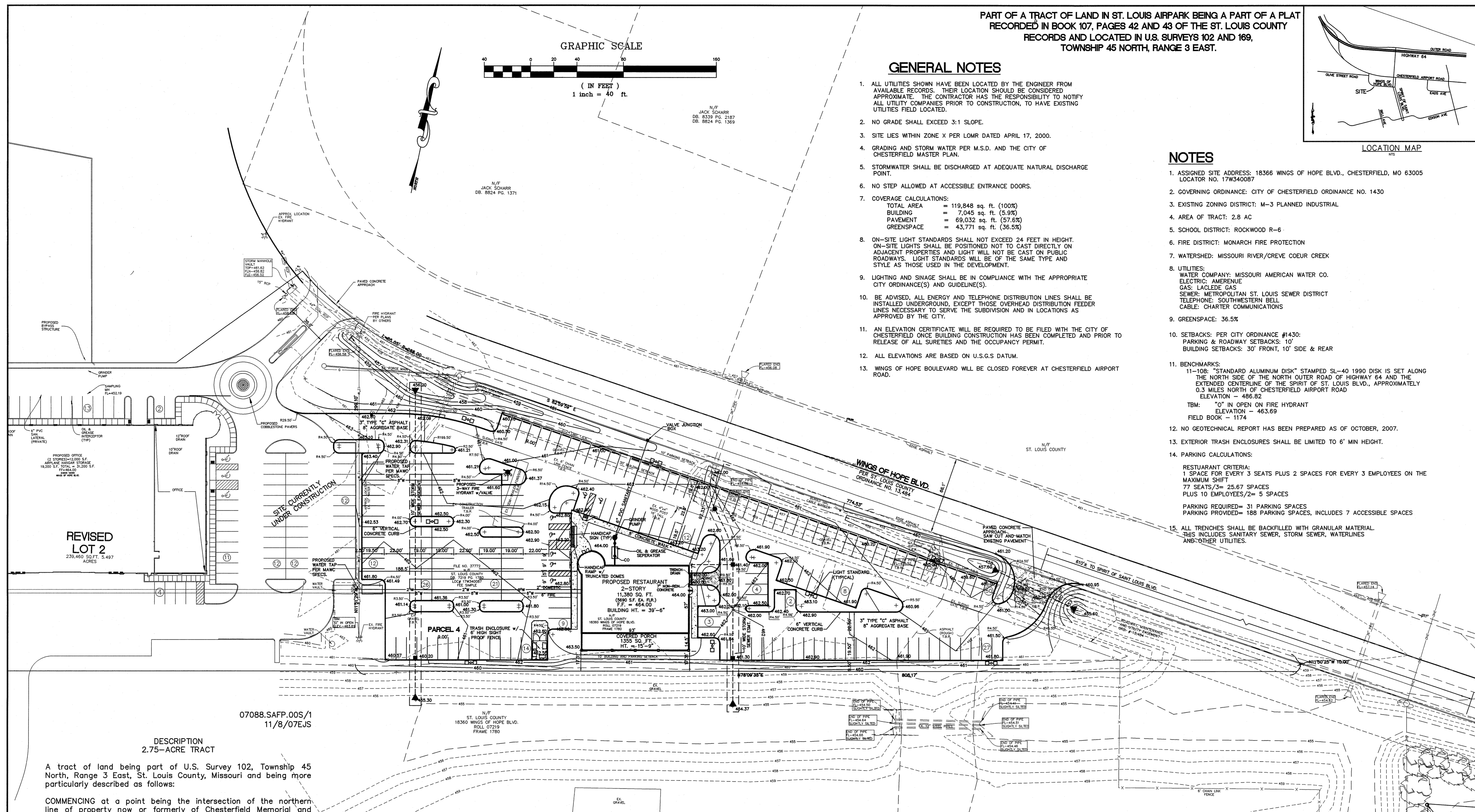
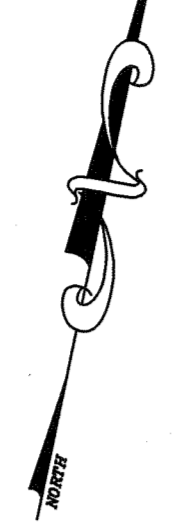
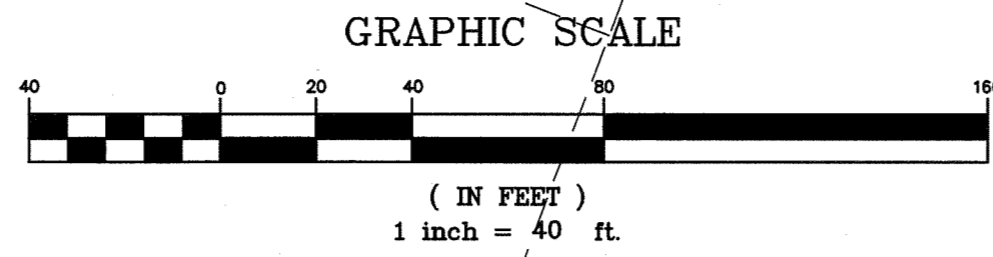


GENERAL NOTES

- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- SITE LIES WITHIN ZONE X PER LMR DATED APRIL 17, 2000.
- GRADING AND STORM WATER PER M.S.D. AND THE CITY OF CHESTERFIELD MASTER PLAN.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT.
- NO STEP ALLOWED AT ACCESSIBLE ENTRANCE DOORS.
- COVERAGE CALCULATIONS:
TOTAL AREA = 119,848 sq. ft. (100%)
BUILDING = 7,045 sq. ft. (5.9%)
PAVEMENT = 69,032 sq. ft. (57.6%)
GREENSPACE = 43,771 sq. ft. (36.5%)
- ON-SITE LIGHT STANDARDS SHALL NOT EXCEED 24 FEET IN HEIGHT. ON-SITE LIGHTS SHALL BE POSITIONED NOT TO CAST DIRECTLY ON ADJACENT PROPERTIES AND LIGHT WILL NOT BE CAST ON PUBLIC ROADWAYS. LIGHT STANDARDS WILL BE OF THE SAME TYPE AND STYLE AS THOSE USED IN THE DEVELOPMENT.
- LIGHTING AND SIGNAGE SHALL BE IN COMPLIANCE WITH THE APPROPRIATE CITY ORDINANCE(S) AND GUIDELINE(S).
- BE ADVISED, ALL ENERGY AND TELEPHONE DISTRIBUTION LINES SHALL BE INSTALLED UNDERGROUND, EXCEPT THOSE OVERHEAD DISTRIBUTION FEEDER LINES NECESSARY TO SERVE THE SUBDIVISION AND IN LOCATIONS AS APPROVED BY THE CITY.
- AN ELEVATION CERTIFICATE WILL BE REQUIRED TO BE FILED WITH THE CITY OF CHESTERFIELD ONCE BUILDING CONSTRUCTION HAS BEEN COMPLETED AND PRIOR TO RELEASE OF ALL SURETIES AND THE OCCUPANCY PERMIT.
- ALL ELEVATIONS ARE BASED ON U.S.G.S DATUM.
- WINGS OF HOPE BOULEVARD WILL BE CLOSED FOREVER AT CHESTERFIELD AIRPORT ROAD.

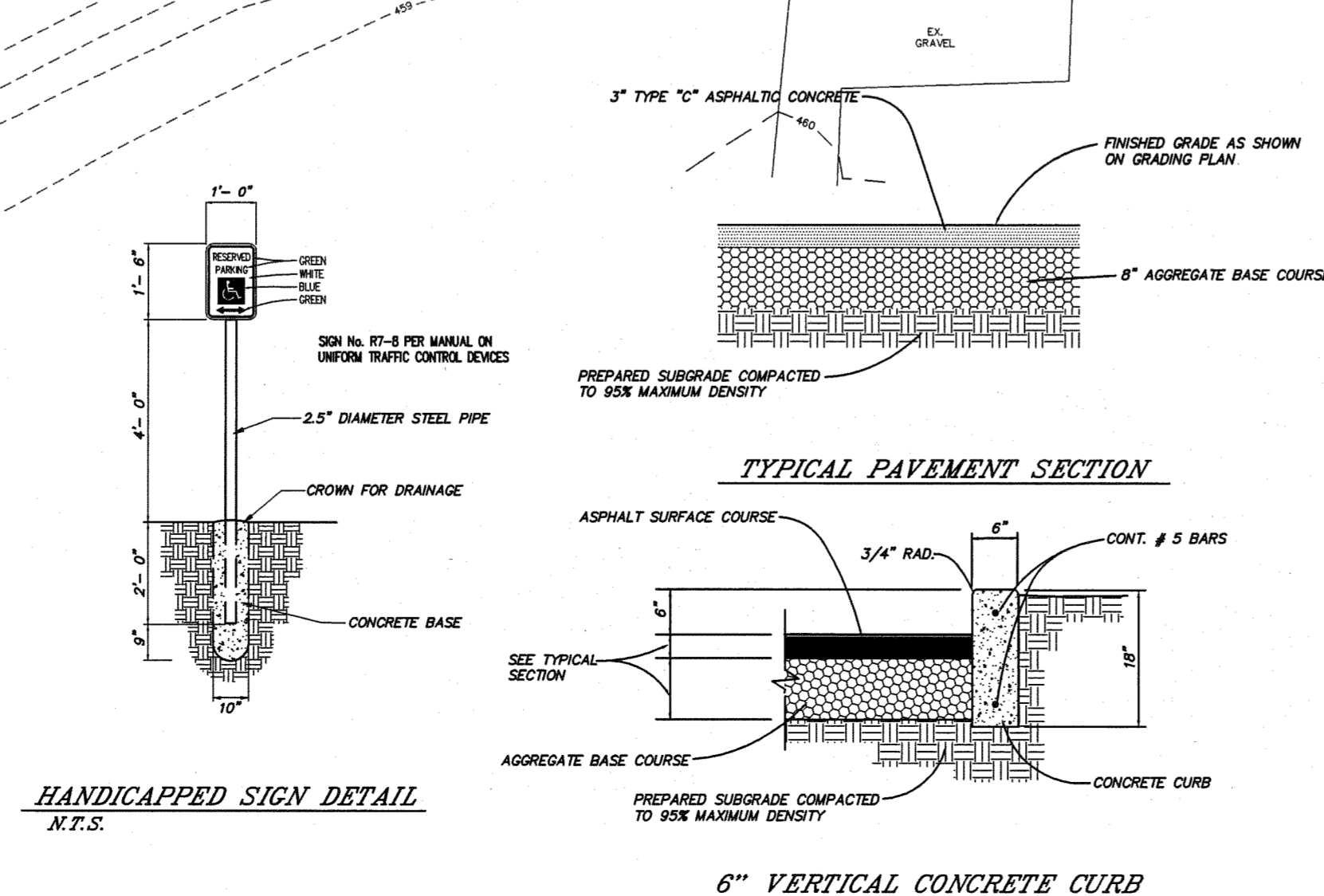
NOTES

- ASSIGNED SITE ADDRESS: 18366 WINGS OF HOPE BLVD., CHESTERFIELD, MO 63005
LOCATOR NO. 17W340087
- GOVERNING ORDINANCE: CITY OF CHESTERFIELD ORDINANCE NO. 1430
- EXISTING ZONING DISTRICT: M-3 PLANNED INDUSTRIAL
- AREA OF TRACT: 2.8 AC
- SCHOOL DISTRICT: ROCKWOOD R-6
- FIRE DISTRICT: MONARCH FIRE PROTECTION
- WATERSHED: MISSOURI RIVER/CREVE COEUR CREEK
- UTILITIES:
WATER COMPANY: MISSOURI AMERICAN WATER CO.
ELECTRIC: AMERENUE
GAS: LACLEDE GAS
SEWER: METROPOLITAN ST. LOUIS SEWER DISTRICT
TELEPHONE: SOUTHWESTERN BELL
CABLE: CHARTER COMMUNICATIONS
- GREENSPACE: 36.5%
- SETBACKS: PER CITY ORDINANCE #1430:
PARKING & ROADWAY SETBACKS: 10'
BUILDING SETBACKS: 30' FRONT, 10' SIDE & REAR
- BENCHMARKS:
11-108: "STANDARD ALUMINUM DISK" STAMPED SL-40 1990 DISK IS SET ALONG THE NORTH SIDE OF THE NORTH OUTER ROAD OF HIGHWAY 64 AND THE EXTENDED CENTERLINE OF THE SPIRIT OF ST. LOUIS BLVD., APPROXIMATELY 0.3 MILES NORTH OF CHESTERFIELD AIRPORT ROAD
ELEVATION = 486.82
TBM: *0' IN OPEN ON FIRE HYDRANT
FIELD BOOK - 1174
- NO GEOTECHNICAL REPORT HAS BEEN PREPARED AS OF OCTOBER, 2007.
- EXTERIOR TRASH ENCLOSURES SHALL BE LIMITED TO 6' MIN HEIGHT.
- PARKING CALCULATIONS:
RESTAURANT CRITERIA:
1 SPACE FOR EVERY 3 SEATS PLUS 2 SPACES FOR EVERY 3 EMPLOYEES ON THE MAXIMUM SHIFT
77 SEATS/3= 25.67 SPACES
PLUS 10 EMPLOYEES/2= 5 SPACES
PARKING REQUIRED= 31 PARKING SPACES
PARKING PROVIDED= 188 PARKING SPACES, INCLUDES 7 ACCESSIBLE SPACES
- ALL TRENCHES SHALL BE BACKFILLED WITH GRANULAR MATERIAL. THIS INCLUDES SANITARY SEWER, STORM SEWER, WATERLINES AND OTHER UTILITIES.



PERTINENT DATA

EXISTING ZONING	=	M3
LOCATOR No.	=	17W340087
SEWER DISTRICT	=	METROPOLITAN ST. LOUIS SEWER DISTRICT
FIRE DISTRICT	=	MONARCH FIRE PROTECTION
WATERSHED	=	MISSOURI RIVER/CREVE COEUR CREEK
SCHOOL DISTRICT	=	ROCKWOOD R-6
WATER SERVICE	=	MISSOURI-AMERICAN WATER COMPANY
GAS SERVICE	=	LACLEDE GAS
ELECTRIC SERVICE	=	AMERENUE ELECTRIC
TELEPHONE SERVICE	=	SOUTHWESTERN BELL TELEPHONE
FIRM	=	29189C0120 H (DATE AUG. 2, 1995) ZONE X
SITE ADDRESS	=	18366 WINGS OF HOPE BLVD. CHESTERFIELD, MO 63005



REVISED LOT 2
239,460 SQ.FT. 5.497 ACRES

07088.SAFP.00S/1
11/8/07EJS

DESCRIPTION
2.75-ACRE TRACT

A tract of land being part of U.S. Survey 102, Township 45 North, Range 3 East, St. Louis County, Missouri and being more particularly described as follows:

COMMENCING at a point being the intersection of the northern line of property now or formerly of Chesterfield Memorial and Building Associated Incorporated as recorded in Book 11034, Page 386 of the St. Louis County, Missouri Records and the western right-of-way line of Spirit of St. Louis Boulevard (160' wide); thence leaving said intersection and along said right-of-way North 07°06'18" West a distance of 7.00 feet to a point; thence North 54°14'44" West a distance of 22.98 feet to a point, said point being in the southern right-of-way of Wings of Hope Boulevard (70' wide); thence continuing along said right-of-way North 82°59'59" West a distance of 371.23 feet to the POINT OF BEGINNING; thence leaving said right-of-way South 11°50'25" East a distance of 10.00 feet to a point; thence South 78°09'35" West a distance of 808.17 feet to a point; thence North 11°51'29" West a distance of 299.10 feet to a point, said point being in the south right-of-way of the aforementioned Wings of Hope Boulevard (70' wide); thence along said right-of-way along a curve to the left having a radius of 285.00 feet, an arc length of 85.05 feet, a chord of which bears South 74°27'04" East a chord distance of 84.73 feet to a point; thence South 82°59'59" East a distance of 774.53 feet to the POINT OF BEGINNING and containing 119,848 square feet and/or 2.75 acres more or less.

NOTE
Underground utilities and structures have been plotted from available information and therefore their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

PICKETT RAY & SILVER
333 Mid Rivers Mall Drive
St. Peters, MO 63376
Phone (636) 397-1211
Fax (636) 397-1104

**CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS**

**Spirit Restaurant
SITE DEVELOPMENT PLAN**
Chesterfield, Missouri

Prepared For:
Forest Park Group

REVISIONS

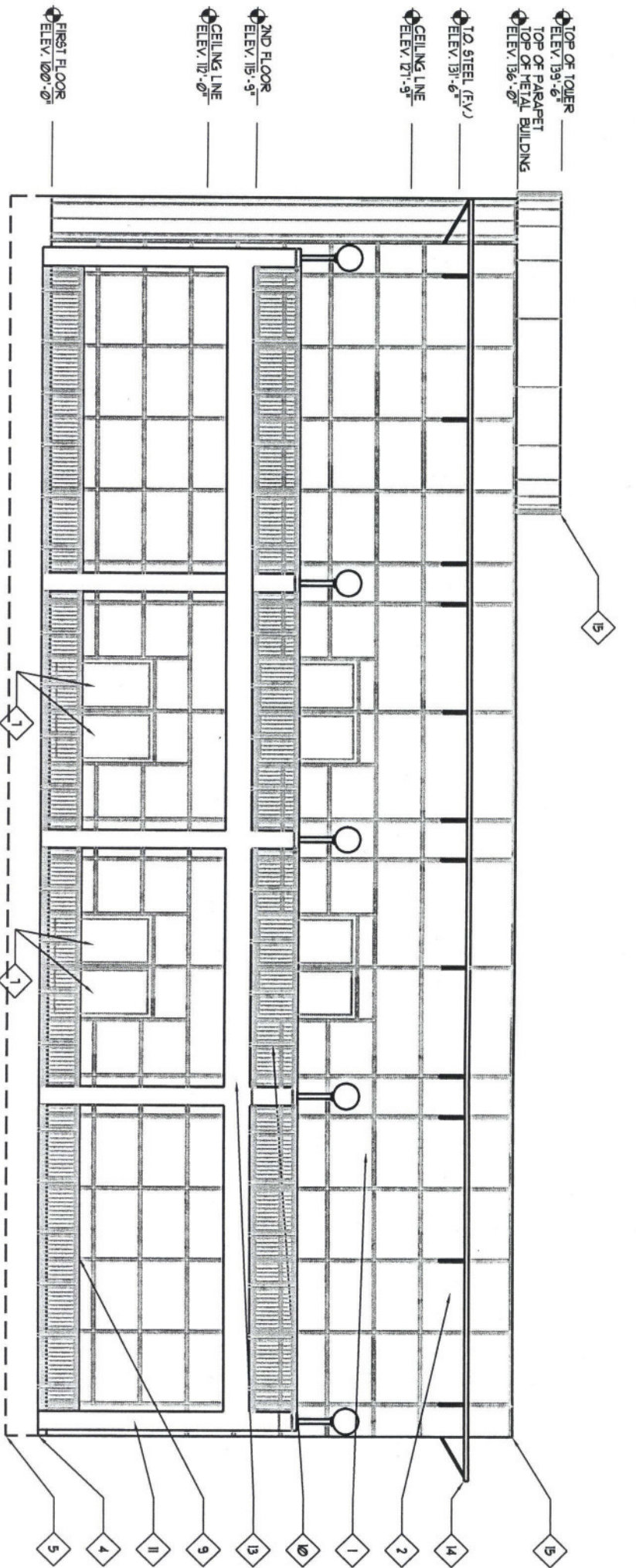
NO.	DATE

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

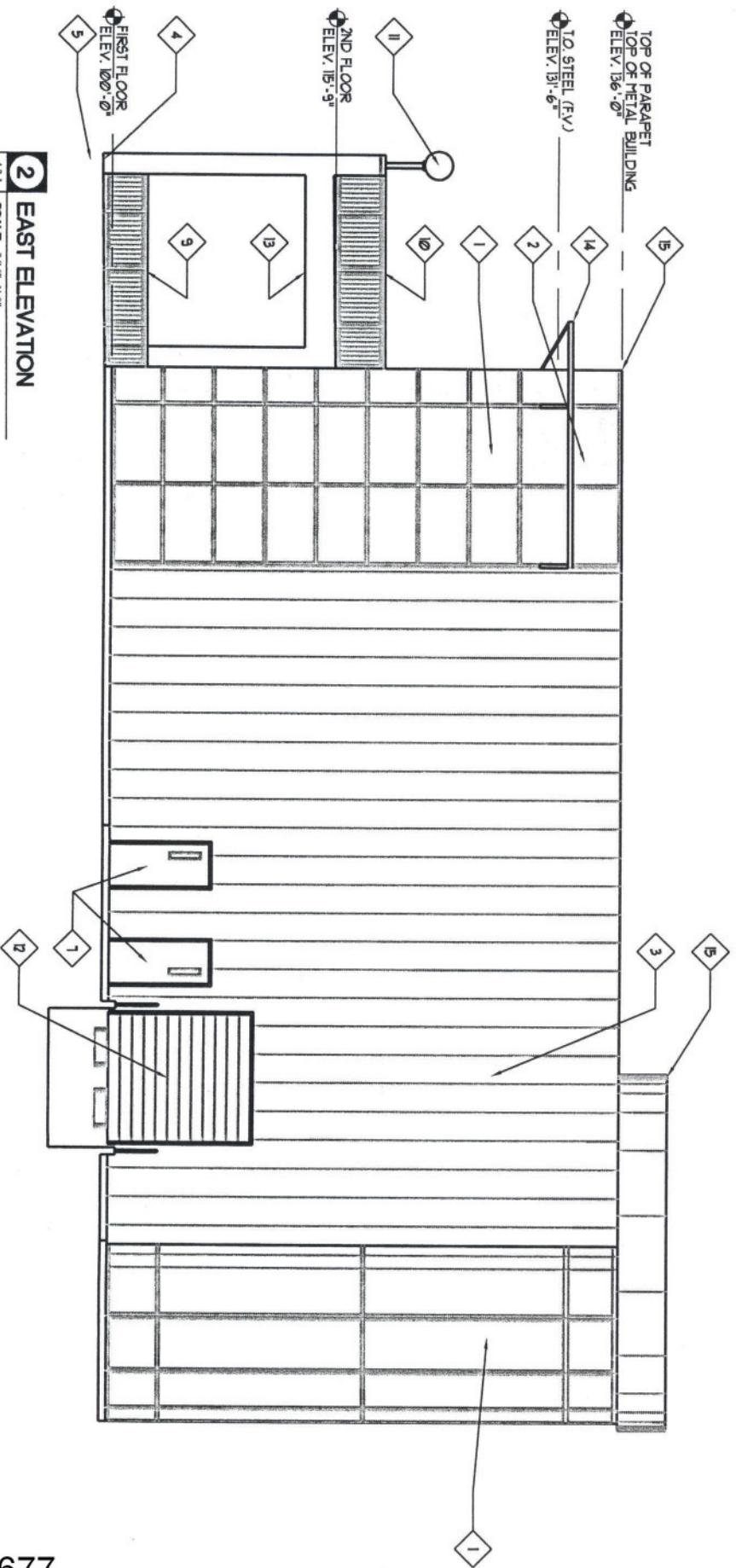
PICKETT RAY & SILVER, INC.
Professional Engineer
M. WINTERS
No. 000000000
PEZ00000000

DRAWN	J.M. WINTERS	DATE	10.22.07
CHECKED	D.L. STOSZ	DATE	10.22.07
PROJECT	# 07088.SAFP.00C	FIELD BOOK	1174
TASK #	1	FIELD BOOK	1174

NOT APPROVED FOR CONSTRUCTION



1 SOUTH ELEVATION
A2.1 SCALE 3/16"=1'-0"



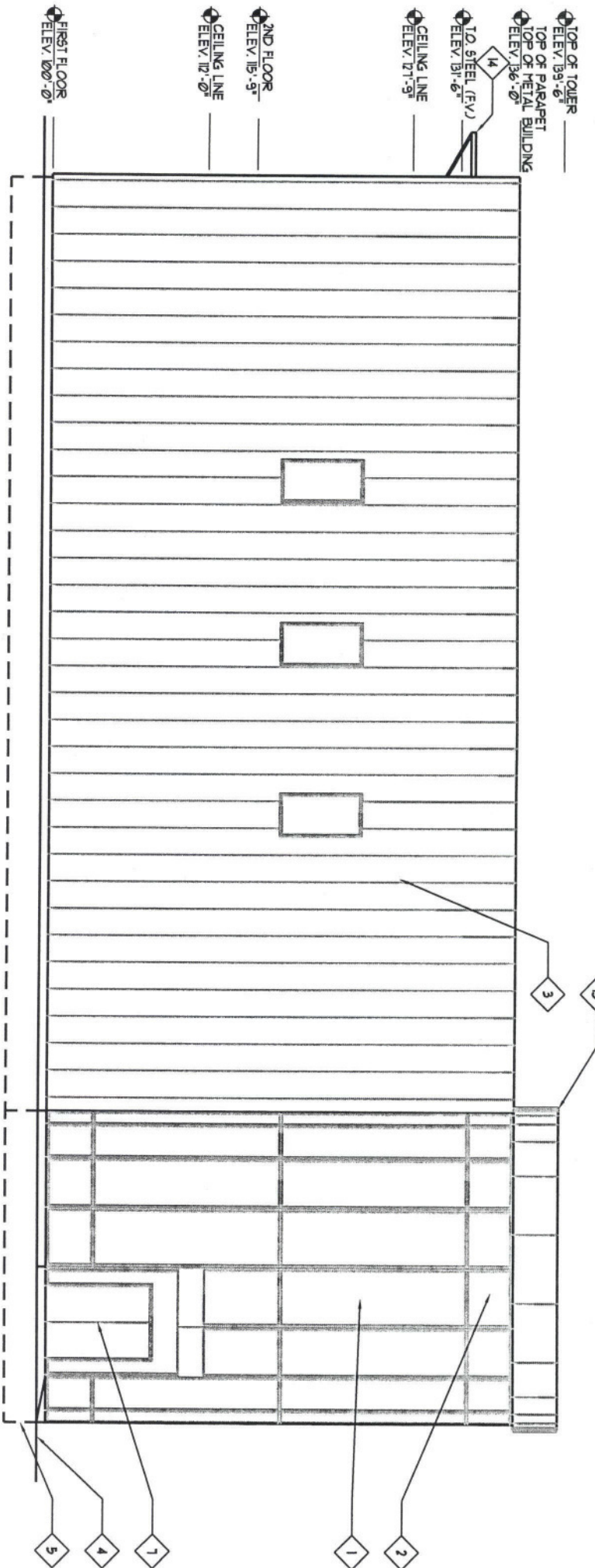
2 EAST ELEVATION
A2.1 SCALE 3/16"=1'-0"

KEYED NOTES

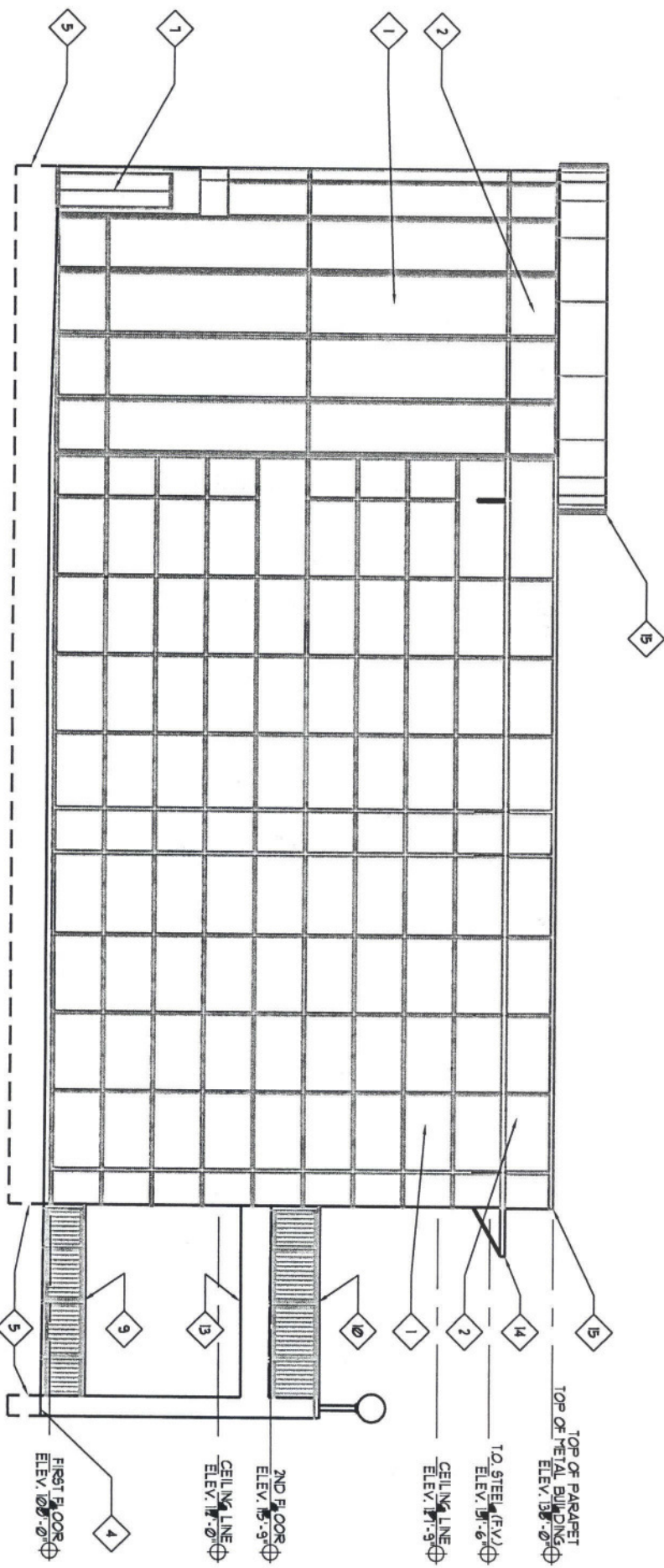
- 1 VERTICAL CURTAIN WALL SYSTEM IS NOT TO BE INSTALLED & REFERRED TO AS SUCH.
- 2 VERTICAL CURTAIN WALL SYSTEM IS NOT TO BE INSTALLED & REFERRED TO AS SUCH.
- 3 METAL WALL PANELS / COLOR CORNERS OPTION.
- 4 APPROX. FINISH GRADE.
- 5 CONC. FOUNDATION / FOOTING.
- 6 SEE STRUCTURAL FOR DETAILS.
- 7 PRE-FINISHED METAL WALL PANELS.
- 8 PRE-FINISHED METAL WALL PANELS.
- 9 PRE-FINISHED METAL WALL PANELS.
- 10 PRE-FINISHED METAL WALL PANELS.
- 11 PRE-FINISHED METAL WALL PANELS.
- 12 PRE-FINISHED METAL WALL PANELS.
- 13 PRE-FINISHED METAL WALL PANELS.
- 14 PRE-FINISHED METAL WALL PANELS.

39677

<p>ADAMS ARCHITECTURAL ASSOCIATES MATT C. ADAMS - ARCHITECT AIA / NCARB</p> <p>ARCHITECTURAL SERVICES RESIDENTIAL COMMERCIAL CHURCHES INTERIORS</p> <p>P.O. BOX 230 OAKSTOWN, MO 63308-0330 (636)537-8333 (636)537-1287 - FAX</p> <p>ADAMS ARCHITECTURAL ASSOCIATES ALL RIGHTS RESERVED</p>	<p>A NEW RESTAURANT DEVELOPMENT FOR FOREST PARK GROUP 18366 AVIATION MUSEUM PKWY. CHESTERFIELD, MISSOURI 63005</p>	<p>CONSULTANTS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>DESIGNED</td> <td>DRAWN</td> <td>CHECKED</td> </tr> <tr> <td>07/30/07</td> <td>M.A.</td> <td>N.A.</td> <td>M.A.</td> </tr> </table>	DATE	DESIGNED	DRAWN	CHECKED	07/30/07	M.A.	N.A.	M.A.	<p>FILE NAME: 2007179-A2.1</p> <p>DRAWING TITLE: SOUTH & EAST ELEVATIONS</p> <p>DATE:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>07/26/07</td> <td>REVISIONS</td> </tr> <tr> <td>08/15/07</td> <td></td> </tr> <tr> <td>08/17/07</td> <td></td> </tr> <tr> <td>07/07/08</td> <td></td> </tr> </table> <p>SHEET A2.1</p> <p>PROJECT NO. 20073007</p>	07/26/07	REVISIONS	08/15/07		08/17/07		07/07/08	
DATE	DESIGNED	DRAWN	CHECKED																
07/30/07	M.A.	N.A.	M.A.																
07/26/07	REVISIONS																		
08/15/07																			
08/17/07																			
07/07/08																			



1 NORTH ELEVATION
A2.0 SCALE 3/16"=1'-0"



2 WEST ELEVATION
A2.0 SCALE 3/16"=1'-0"

39678

KEYED NOTES

- 1 VERTICAL CURTAIN WALL SYSTEM BY KALITIE M. GUSTITTE CLARK
- 2 VERTICAL CURTAIN WALL SYSTEM BY KALITIE M. GUSTITTE CLARK
- 3 METAL WALL PANELS (COLOR CHANGES APPROX. FISH GRABOE)
- 4 CONC. FOUNDATION FOOTINGS. SEE STRUCTURAL FOR DETAILS
- 5 PRE-FINISHED METAL WALL PANELS
- 6 PRE-FINISHED METAL WALL PANELS SEE DOOR SCHEDULE
- 7 PRE-FINISHED METAL WALL PANELS
- 8 PRE-FINISHED METAL WALL PANELS
- 9 PRE-FINISHED METAL WINDOW
- 10 PRE-FINISHED METAL WINDOW
- 11 EXTERIOR LIGHT FIXTURE
- 12 8" W X 8" W RECL.-JP SERVICE DOOR + LOADING DOOR
- 13 CONCRETE SLAB ON CONCRETE COLUMNS REFER TO STRUCTURAL DATA
- 14 PRE-FINISHED METAL SUN SHADE SYSTEM
- 15 PRE-FINISHED METAL PARAPET COVER

SEAL
THE NATIONAL ARCHITECTURAL BOARD OF RECORDS HAS AUTHORIZED THE USE OF THIS SEAL FOR ARCHITECTS REGISTERED IN THE STATE OF MISSOURI. THE SEAL IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. THE SEAL IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. THE SEAL IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

ADAMS ARCHITECTURAL ASSOCIATES
MATT C. ADAMS - ARCHITECT AIA / NCARB
ARCHITECTURAL SERVICES
HOTELS
COMMERCIAL
CHURCHES
RESIDENTIAL
INTERIORS
P.O. BOX 230
CHESTERFIELD, MO 63306-0230
(636)337-8333
(636)337-1287 -FAX

A NEW RESTAURANT DEVELOPMENT FOR
FOREST PARK GROUP
18366 AVIATION MUSEUM PKWY.
CHESTERFIELD, MISSOURI 63005

DATE	DESIGNED	DRAWN	CHECKED
07/30/07	M.A.	H.A.	M.A.

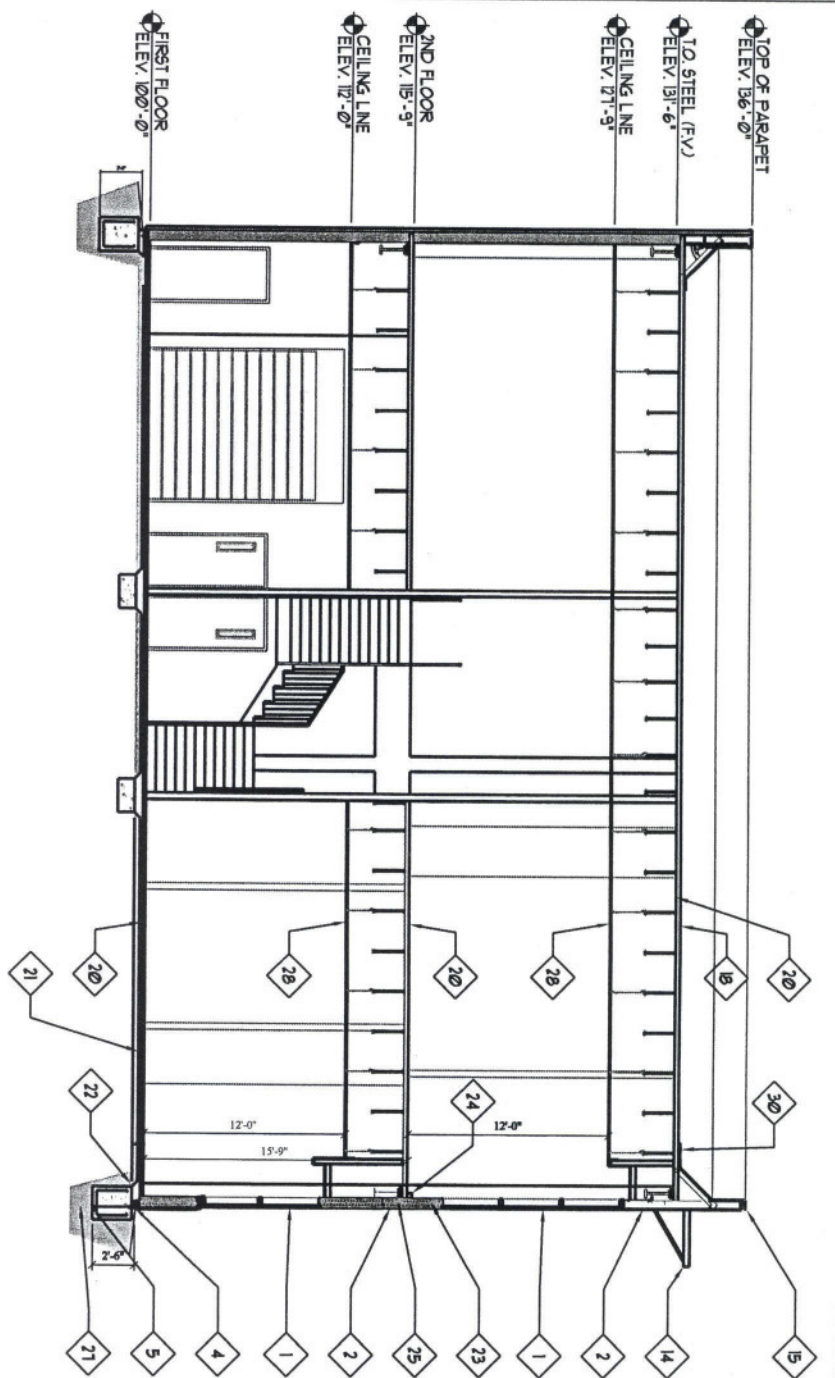
CONSULTANTS

FILE NAME: 200717R-A2.0
DRAWING TITLE:
NORTH & WEST
ELEVATIONS

DATE	REVISIONS
07/26/07	
08/15/07	
09/13/07	
01/07/08	

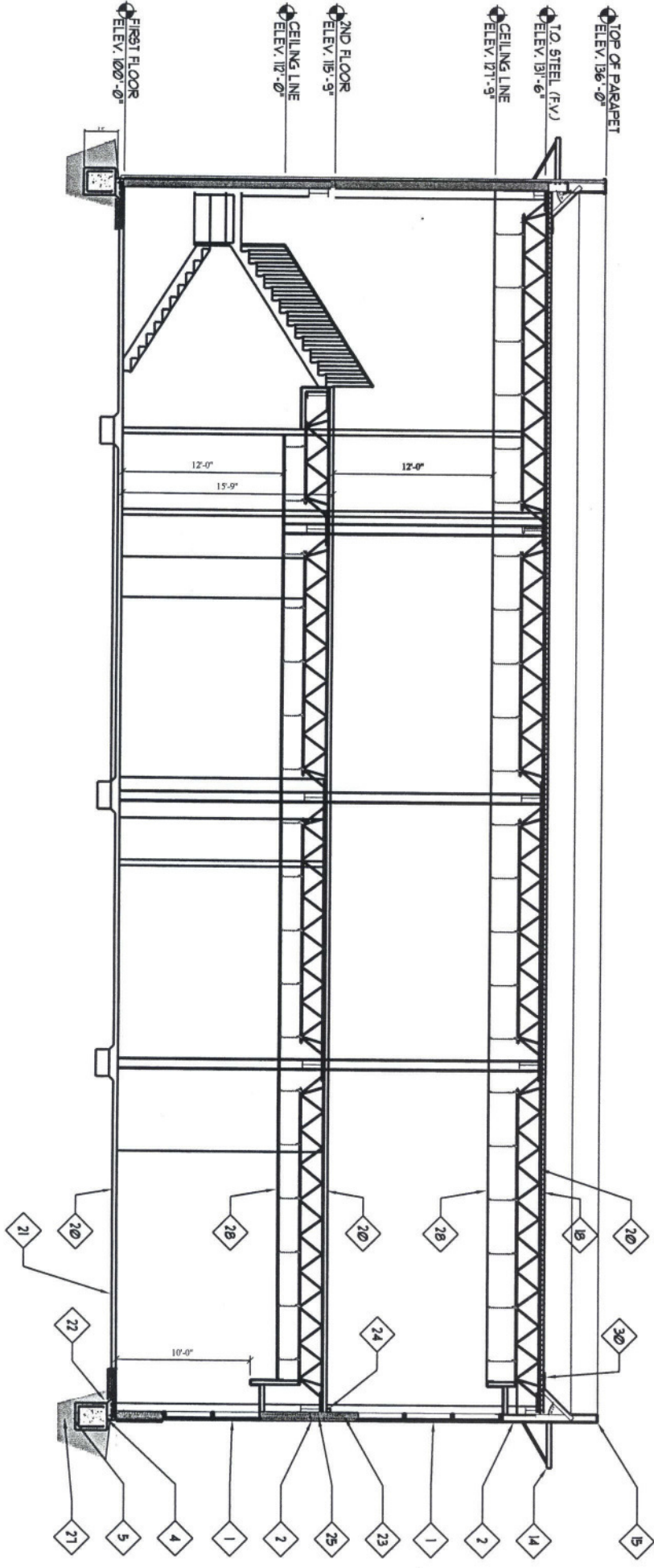
SHEET
A2.0

PROJECT NO. 20073007



1 BUILDING SECTION A-A
 A22 SCALE 3/16"=1'-0"

- | | | | |
|----|---|----|---|
| 4 | APPROX. FINISH GRADE. | 19 | HIGH PROFILE EDGE CAULK ON BAR COVER TAPE W/ APPROVED SEAM ADHESIVE |
| 5 | CONC. FOUNDATION & FOOTING. SEE STRUCTURAL FOR DETAILS. | 20 | CONC. SLAB, SEE STRUCT. DETAILS. |
| 6 | PRE-FINISHED METAL WALL PANELS. | 21 | 4" COMPACTED GRAN FILL & BASE 4 HILL POLY VAPOR BARRIER |
| 1 | PRE-FINISHED DOORS SEE DOOR SCHEDULE. | 22 | 2" RIGID INSULATION |
| 8 | PRE-FINISHED METAL WALL FLASHING. | 23 | BAT INSULATION - R-19 WITH VAPOR BARRIER * INTERIOR SIDE. |
| 9 | PRE-FINISHED METAL HANDRAIL | 24 | ANCHOR ASSEMBLY AS REQUIRED |
| 10 | PRE-FINISHED METAL GUARDRAIL | 25 | SARING INSULATION FIRE STOP BARRIER |
| 11 | EXTERIOR LIGHT FIXTURE | 26 | 3/4" GYP. BD. |
| 2 | 10'W X 8'1/2" ROLL-UP SERVICE DOOR * LOADING DOCK | 27 | COMPACTED EARTH |
| 12 | CONCRETE WARE SLAB ON CONCRETE COLUMNS REFER TO STRUCTURAL DETAILS. | 28 | 2"x2" CEILING GRID & TILE |
| 13 | PRE-FINISHED METAL SUN SHADE SYSTEM | 29 | METAL FIRE EXIT STAIR |
| 14 | PRE-FINISHED METAL PARAPET COVER | 30 | ROOF DRAIN |
| 15 | | | |



39679

<p>FILE NAME: 2007177-A22 DRAWING TITLE BUILDING SECTIONS</p>		<p>A NEW RESTAURANT DEVELOPMENT FOR FOREST PARK GROUP 18366 AVIATION MUSEUM PKWY. CHESTERFIELD, MISSOURI 63005</p>		<p>ADAMS ARCHITECTURAL ASSOCIATES MATT C. ADAMS - ARCHITECT AIA / NCARB</p>		<p>ARCHITECTURAL SERVICES HOTELS COMMERCIAL CHURCH RESIDENTIAL INTERIORS</p>		<p>P.O. BOX 230 CHESTERFIELD, MO 63308-0230 (636)537-1100 (636)537-1267 - FAX</p>		<p>CONTRACTOR: [] ALL RIGHTS RESERVED</p>	
DATE	DESIGNED	DRAWN	CHECKED	<p>THE ARCHITECT ASSOCIATES ASSOCIATION 1000 N. MICHIGAN AVENUE, SUITE 1000 ANN ARBOR, MI 48106-1502 PHONE: (734) 769-1000 FAX: (734) 769-1001 WWW.AIAA-ARCHITECTS.ORG I AM AN ARCHITECT. I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF AMERICA (AIA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MISSOURI (AIA-MO). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF ILLINOIS (AIA-IL). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF INDIANA (AIA-IN). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF IOWA (AIA-IA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF KANSAS (AIA-KS). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF KENTUCKY (AIA-KY). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF LOUISIANA (AIA-LA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MARYLAND (AIA-MD). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MASSACHUSETTS (AIA-MA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MICHIGAN (AIA-MI). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MINNESOTA (AIA-MN). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MISSISSIPPI (AIA-MS). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MISSOURI (AIA-MO). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF MONTANA (AIA-MT). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NEBRASKA (AIA-NE). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NEVADA (AIA-NV). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NEW HAMPSHIRE (AIA-NH). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NEW JERSEY (AIA-NJ). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NEW YORK (AIA-NY). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NORTH CAROLINA (AIA-NC). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF NORTH DAKOTA (AIA-ND). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF OHIO (AIA-OH). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF OKLAHOMA (AIA-OK). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF OREGON (AIA-OR). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF PENNSYLVANIA (AIA-PA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF RHODE ISLAND (AIA-RI). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF SOUTH CAROLINA (AIA-SC). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF SOUTH DAKOTA (AIA-SD). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF TENNESSEE (AIA-TN). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF TEXAS (AIA-TX). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF UTAH (AIA-UT). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF VERMONT (AIA-VT). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF VIRGINIA (AIA-VA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF WASHINGTON (AIA-WA). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF WEST VIRGINIA (AIA-WV). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF WISCONSIN (AIA-WI). I AM A MEMBER OF THE ARCHITECTURAL ASSOCIATION OF WYOMING (AIA-WY).</p>							
07/30/07	M.A.	N.A.	M.A.	<p>CONSULTANTS</p>							
DATE	DESIGNED	DRAWN	CHECKED	<p>MEMBERS</p>							
07/20/07				<p>07/20/07</p>							
08/15/07				<p>08/15/07</p>							
09/12/07				<p>09/12/07</p>							
<p>SHEET</p>				<p>A22</p>							
<p>PROJECT NO. 2007177</p>				<p>PROJECT NO. 2007177</p>							