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Planning Commission Staff Report

Project Type: Amended Architectural Elevations

Meeting Date: January 11, 2010

From: Charlie Campo, AICP
Project Planner

Mara Perry, AICP
Senior Planner

Location: AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change)

Applicant: Ashland Inc.

Description: **AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change):**
Amended Architectural Elevations for a vehicle service center located on a 0.46 acre lot of land zoned “C-8” Planned Commercial District, located at the northwest corner of Olive Boulevard and Woodchase Ln.

PROPOSAL SUMMARY

Ashland, Inc. has submitted Amended Architectural Elevations for Planning Commission review. The request is for amended architectural elevations to an existing, approximately 1,600 square foot vehicle service center. The existing exterior building materials are brick and glass with an internally lit barrel along the front of the building. The internally lit barrel will be removed and replaced with a blue and red backlit panel, illuminated with two rows of fluorescent fixtures. Non-illuminated blue and red colored panels will be located above the overhead doors on the rear of the building to serve as bay indicators. The color and design will match the panel on the front elevation.

On December 14, 2009 the Planning Commission approved a decorative cornice element to be added to the east and west sides of the front elevation of the building. In addition to a colored cornice detail that will follow the top of the elevation on all sides of the building.

LAND USE AND ZONING HISTORY OF SUBJECT SITE

On July 13, 1989, St. Louis County approved Ordinance 14,543, a request for a change of zoning from an “R2” Residence District 15,000 sq. ft. and a “C8” Planned Commercial District to form a new “C8” Planned Commercial District for a 1.602 acre tract of land. On October 5, 1989, St. Louis County amended Ordinance 14,543, to reduce the side yard setback along the west side of the lot from thirty-two (32) feet to twenty-seven (27) feet. St. Louis County further amended Ordinance 14,543, on March 15, 1990, to require stormwater detention at the discretion of the Metropolitan St. Louis Sewer District. A Site Plan for the service station was approved on March 28, 1990 and then amended on August 24, 1990 to relocate the entrance to the site. On March 21, 1991, St. Louis County approved Ordinance 15,430, to change the legal description of the district and to increase the side yard setback along the east side of lot 2 from five (5) feet to ten (10) feet.

Land Use and Zoning of Surrounding Properties:

Direction	Land Use	Zoning
North	Public Utility Facility	“C-8” Planned Commercial
South	Church	“R-3” Residence District
East	Retail	“C-8” Planned Commercial
West	Public Utility Facility	“R-2” Residence District



STAFF ANALYSIS

- **Zoning**

The subject site is currently zoned “C-8” Planned Commercial District under the terms and conditions of St. Louis County Ordinance 15,430. The Ordinance states that “Architectural elevations for all building facades shall be as approved by the Planning Commission on the Site Development Plan.” The submittal was reviewed against the requirements of St. Louis County Ordinance 15,430 and all applicable Zoning Ordinance Requirements. The site adheres to the applicable Zoning Ordinance requirements, the Architectural Review Board Guidelines and St. Louis County Ordinance 15,430.

- **Lighting**

The City of Chesterfield Lighting Ordinance requires that “All accent lighting, including Light-Emitting Diodes or LEDs, and lighting used for signage shall be subject to the approval of the City of Chesterfield.” The proposed internally illuminated panel complies with all applicable sections of the Lighting Ordinance.

DEPARTMENTAL INPUT

Staff has reviewed the Amended Architectural Elevations and has found the application to be in conformance with the Comprehensive Plan, Zoning Ordinance and St. Louis County Ordinance 15,430.

MOTION

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) “I move to approve (or deny) the Amended Architectural Elevations for AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change).”
- 2) “I move to approve the Amended Architectural Elevations for AT&T Olive Subdivision, Lot 1 (Valvoline Instant Oil Change) with the following conditions...” (Conditions may be added, eliminated, altered or modified)

Cc: City Administrator
City Attorney
Department of Planning and Public Works

Attachments: Amended Architectural Elevations
Photos of Existing Elevations
Site Development Plan

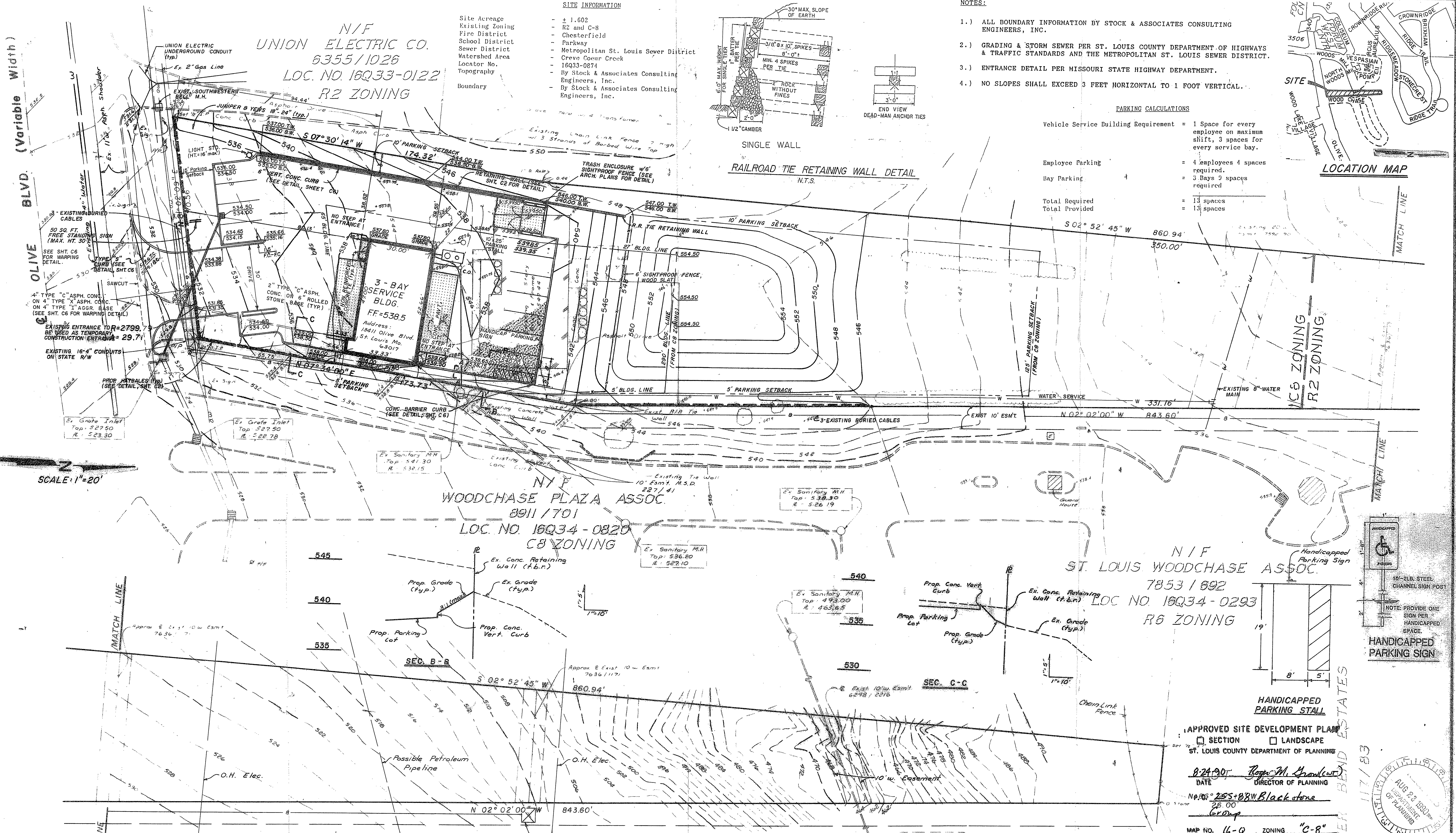


05-28 Olive Blvd, Chesterfield, MO



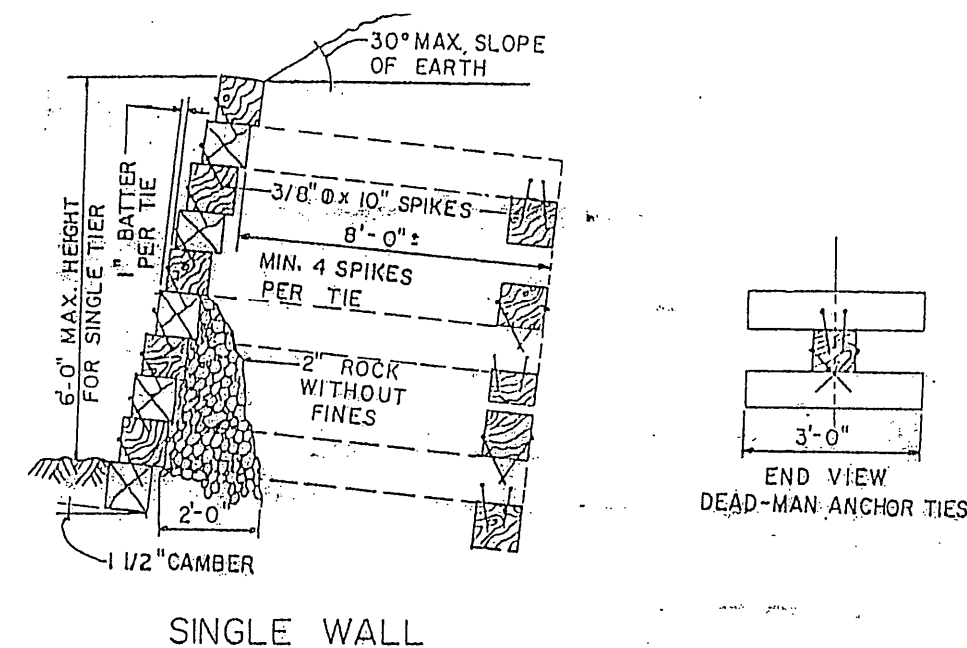
05-28 Olive Blvd, Chesterfield, MO





SITE INFORMATION

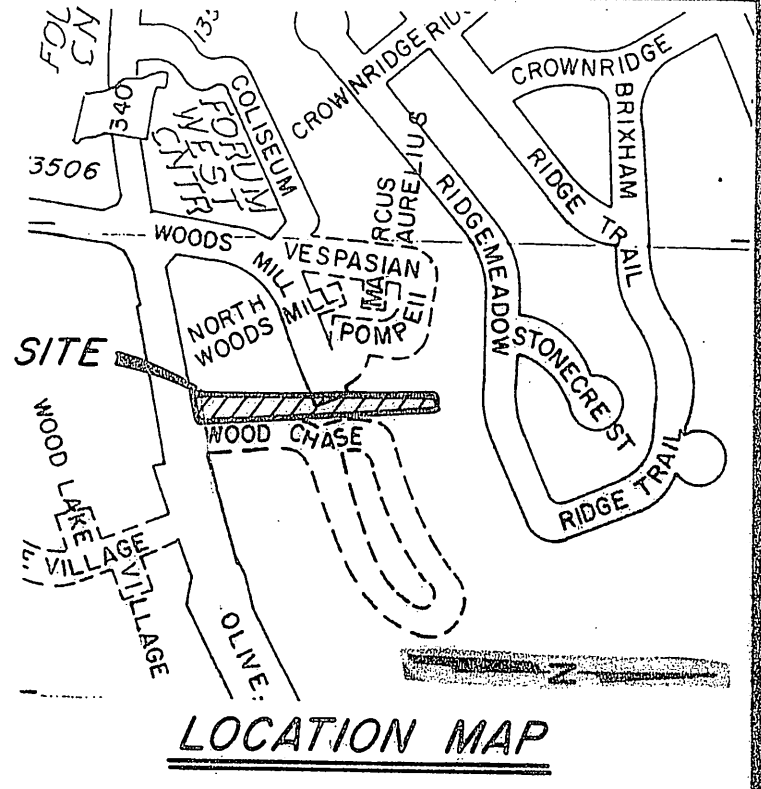
- ± 1.602
- RZ and C-8
- Chesterfield Parkway
- Metropolitan St. Louis Sewer District
- Creve Coeur Creek
- 16033-0874
- By Stock & Associates Consulting Engineers, Inc.
- By Stock & Associates Consulting Engineers, Inc.



- NOTES:**
- 1.) ALL BOUNDARY INFORMATION BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
 - 2.) GRADING & STORM SEWER PER ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS & TRAFFIC STANDARDS AND THE METROPOLITAN ST. LOUIS SEWER DISTRICT.
 - 3.) ENTRANCE DETAIL PER MISSOURI STATE HIGHWAY DEPARTMENT.
 - 4.) NO SLOPES SHALL EXCEED 3 FEET HORIZONTAL TO 1 FOOT VERTICAL.

PARKING CALCULATIONS

Vehicle Service Building Requirement	= 1 Space for every employee on maximum shift, 3 spaces for every service bay.
Employee Parking	= 4 employees 4 spaces required.
Bay Parking	= 3 Bays 3 spaces required
Total Required	= 13 spaces
Total Provided	= 13 spaces



SCALE: 1"=20'

GILES ENGINEERING ASSOCIATES, INC. (GEA) and the undersigned engineers have not prepared any part of the plans given on these sheets. The seal of the undersigned professional engineer has been affixed at the request of St. Louis County and is a professional opinion to indicate that the undersigned has reviewed Sheets C2 and C3 of 7 of the plans and revisions through the date given below and that in GEA's opinion the grading and improvements as shown on the plans are compatible with the soil and geologic conditions at the site as described in the geotechnical reports for the project dated January 26, 1990. Roads and building foundations may be supported on suitable bearing naturally occurring soils and/or structural compacted fill. The railroad tie retaining wall is specifically excluded from this review and opinions. GEA has not reviewed the structural design and specifications for the railroad tie retaining wall because it is understood that it is a detail that is approved by St. Louis County.

GEA and the undersigned have no responsibility for services provided by other, except as they relate to the geotechnical aspects of the design. Services by others include: establishment of grades, sewer plans and grades, drainage, boundary and topographic surveys; all structural and electrical components; water, gas, electric and telephone service and distribution facilities; any and all other engineering plans, specifications, estimates, plats, reports, surveys or other documents or instruments relating to or intended to be used for any part or parts of this project. Construction means and methods for implementation of the grading plan shall be left to the contractor with verification by the geotechnical engineer in writing.

The above opinion is based on data from the geotechnical reports which were based on widely spaced explorations. Conditions may vary from those encountered in the explorations, or can change due to construction activities or weather conditions. Therefore, undersigned must be involved during the construction phase of this project in order to determine that subsurface conditions are as anticipated from the boring data and that recommendations relative to construction are implemented.

PREPARED FOR:
VALVOLINE INSTANT OIL CHANGE
 5246 WOOSTER ROAD
 CINCINNATI, OHIO 45226
 PHONE (513) 533-1600

APPROVED SITE DEVELOPMENT PLAN
 SECTION LANDSCAPE
 ST. LOUIS COUNTY DEPARTMENT OF PLANNING
 DATE: 8-24-90
 DIRECTOR OF PLANNING: *Roger M. Gaudin*
 MAP NO. 255-08-01 Black stone
 MAP NO. 16-Q ZONING "C-8"
 AUG 23 1990

VALVOLINE INSTANT OIL CHANGE
 OLIVE BLVD.
 AMENDED SITE DEVELOPMENT PLAN
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
 1030 WOODCREST TERRACE DR.
 SUITE 150
 ST. LOUIS, MO. 63141
 (314) 275-8071

DRAWN BY:	DATE:	CHECKED BY:	DATE:	JOB NUMBER:	SHEET:
R.S.	1-23-90	G.M.S.	1-23-90	90-236	1 of 2

